

ORDINANCE NO. 3609

AN ORDINANCE OF THE CITY OF KIRKLAND RELATING TO ZONING, PLANNING, AND LAND USE AND AMENDING ORDINANCE 2740 AS AMENDED, THE KIRKLAND ZONING ORDINANCE (FILE NO. IV-96-70).

WHEREAS, the City Council has received from the Kirkland Planning Commission a recommendation to amend certain sections of the text of the Kirkland Zoning Code, Ordinance 2740 as amended, all as set forth in that certain report and recommendation of the Planning Commission dated May 9, 1997 and bearing Kirkland Department of Planning and Community Development File No. IV-96-70; and

WHEREAS, prior to making said recommendation, the Planning Commission, following notice thereof as required by RCW 35A.63.070, on March 13, 1997, held a public hearing on the amendment proposals and considered the comments received at said hearing; and

WHEREAS, in regular public meeting, the City Council considered the recommendation from the Kirkland Planning Commission as to proposed text for amendments concerning development within the Central Business District; and

WHEREAS, the City Council decided additional study concerning development within the Central Business District was needed, which resulted in revised proposed text for amendments; and

WHEREAS, the City Council held a new public hearing on the proposed text for amendments concerning development within the Central Business District on November 18, 1997; and

WHEREAS, pursuant to the State Environmental Policies Act there has accompanied the legislative proposal and recommendation through the entire consideration process, a final determination of nonsignificance, including supporting environmental documents, issued by the responsible official pursuant to WAC 197-11-340 and WAC 197-11-390; and

WHEREAS, in regular public meeting the City Council considered the environmental documents received from the responsible official, together with the report and recommendation of the Planning Commission.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Kirkland as follows:

Section 1. Zoning text amended: The following specified sections of the text of Section 50 and Section 162 of Ordinance 2740 as amended, the Kirkland Zoning Ordinance, be and they hereby are amended to read as follows:

As set forth in Attachment A which by this reference is incorporated herein.

Section 2. Ordinance Nos. 3595 and 3596 shall continue to be in force and effect, according to their terms, until repealed or until they expire without renewal. While Ordinance Nos. 3595 and 3596 are in force and effect, this Ordinance shall apply to all requests or applications for building or zoning permits or approvals within the Central Business District for projects under 35 feet in height, and therefore not subject to the provisions of Ordinance Nos. 3595 and 3596. Upon repeal or expiration without renewal of Ordinance Nos. 3595 and 3596, this Ordinance shall apply to all requests or applications for building or zoning permits or approvals within the Central Business District.

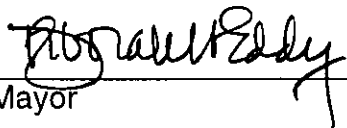
Section 3. If any section, subsection, sentence, clause, phrase, part or portion of this ordinance, including those parts adopted by reference, is for any reason held to be invalid or unconstitutional by any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this ordinance.

Section 4 This ordinance shall be in force and effect January 23, 1998, and this ordinance shall be published, pursuant to Section 1.08.017, Kirkland Municipal Code, in the summary form attached to the original of this ordinance and by this reference approved by the City Council.

Section 5 A complete copy of this resolution, including Findings, Conclusions and Recommendations adopted by reference, shall be certified by the City Clerk, who shall then forward the certified copy to the King County Department of Assessments.

PASSED by majority vote of the Kirkland City Council in regular, open meeting this 18th day of December, 1997.

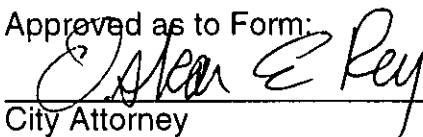
SIGNED IN AUTHENTICATION thereof this 18th day of December, 1997.



Mayor

Attest:


Deputy City Clerk

Approved as to Form:


Asst. City Attorney

WORD-3609.MAY/JM:ct

CHAPTER 50 - CENTRAL BUSINESS DISTRICT (CBD) ZONES

50.05 User Guide. The charts in Section 10 through 50 of this Chapter contain the basic zoning regulations that apply in the CBD 1-8 zones of the City. Use these charts by reading down the extreme left hand column entitled Use. Once you locate the use in which you are interested, read across to find the regulations that apply to that use. In addition, you should read Chapter 1 of this Code which will assist you in finding other regulations that apply to your property or proposal.

The sample chart on this page describes the regulations that are contained in each column.

REGULATIONS	USE ZONE CHART										Zone	Section		
	REVIEW PROCESS	LOT SIZE	MINIMUMS			MAXIMUMS			LANDSCAPE CATEGORY	SIGN CATEGORY			REQUIRED PARKING SPACES	SPECIAL REGULATIONS
			FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE							
<p>USE</p> <p>This column contains all of the uses that may locate in this zone. If a use is not listed, it is not allowed in this zone. Each use listed is subject to all of the regulations listed in the columns to the right of that use.</p>	<p>This column lists the review process that the City will use to evaluate and approve or disapprove each listed use. If no process is listed, no formal review process is required under this procedure. In any event, a building or other permit may be required from the Building Official.</p>	<p>This column lists the minimum lot size required for each use. Where applicable, the minimum lot size for each use is listed.</p>	<p>These columns list the minimum yards required for each use. Chapter 115 of this Code establishes what structures, improvements, and activities may or may not take place in these required yards.</p>	<p>See Spec. Reg. #1.</p>	<p>This column lists the maximum height of structures allowed for each use. In most cases, the regulation is expressed as a number of feet above average building elevation. In some cases, a maximum number of stories is also listed.</p>	<p>See Spec. Reg. #2.</p>	<p>See Spec. Reg. #3.</p>	<p>This column establishes the parking requirements for each use. For some uses, a specific number of stalls is not listed and a reference is given to a section in the parking chapter that states that the City will determine the parking requirements on a case-by-case basis.</p>	<p>This column contains any special regulations, standards, or decisional criteria that may apply to each listed use. Some of these requirements are absolute, while others contain decisional criteria or more general standards. Where decisional criteria are listed, the City will use these criteria to determine if a proposed use is appropriate and as a basis for imposing limitations and conditions on the proposed use and development.</p>	<p>1. This column lists the maximum amount of lot coverage allowed for each use. Maximum lot coverage is a defined term. Consult Chapter 5 of this Code.</p> <p>2. This column lists the Landscaping Category for each use. The footnote references the chapter that specifies the buffers that must be provided, depending on the uses or zones that apply to the subject property.</p> <p>3. This column lists the sign category for each use. The footnote references the chapter that provides full information on allowable signs for each use.</p>	<p>Revised 4/80</p>			


ZC-CH50/4-23-80

Revised 4/80

For other information about parking and parking areas, see Chapter 105. For details of the regulations in this category, see Chapter 100. For information of the regulations in this category, see Chapter 95. For details of what may exceed this height limit, see Chapter 115. For details regarding required yards, see Chapter 115.

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

USE REGULATIONS	MINIMUMS				MAXIMUMS		SIGN CATEGORY	REQUIRED SPACES	SPECIAL REGULATIONS
	LOT SIZE	REQUIRED YARDS		HEIGHT OF STRUCTURE	LANDSCAPE CATEGORY				
		FRONT	SIDE			REAR			
Restaurant or Tavern 	None	0	0	0	53 feet above average building elevation— See Special Regulation 2. 2-4 stories above each abutting right-of-way	D	One per each 125 sq. ft. of gross floor area. See Section 60 of this Chapter.	SPECIAL REGULATIONS 1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. 2. Buildings exceeding 35 feet above average building elevation shall be permitted only if design techniques are used to minimize perceived building mass and achieve superior architectural and human scale from abutting rights-of-way and public open spaces. In meeting the requirement, buildings shall exceed the design requirements of Zoning Code Sections 50.65.5.a and 50.65.5.b—and will normally include terracing of upper floors and modulation of front facade. 3. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. 2. Height measured at the midpoint of the frontage of the subject property on the abutting right-of-way, excluding First Avenue South. Buildings exceeding two stories must demonstrate compliance with the design regulations of Section 50.65 and all provisions contained in the Downtown Plan. The City will determine compliance with these requirements through Process IIB.	
ZC-CBD14-23-80									

Revised 4/83

For other information about parking and parking areas, see Chapter 105.
 For details of the regulations in this category, see Chapter 100.
 For information of the regulations in this category, see Chapter 95.
 For details of what may exceed the height limit, see Chapter 115.
 For details regarding required yards, see Chapter 115.

FOOTNOTES

USE REGULATIONS	DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS										USE ZONE CHART	
	REQUIRED REVIEW PROCESS	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS	Zone	Section
		LOT SIZE	FRONT	SIDE	REAR	LOT COVERAGE					HEIGHT OF STRUCTURE	CBD-1
Any Retail Establishment, other than those specifically listed, limited or prohibited in this Zone, selling goods or providing services, including banking and related financial services Hotel or Motel Entertainment, Cultural and/or Recreational Facility	If the structure exceeds 35 feet above average building elevation, then Process IIB, Chapter 152, and A.D.R. Chapter 142 Otherwise, A.D.R. Chapter 142	None	0	0	0	100%	52 feet above average building elevation. See Special Regulation 6. 2-4 stories above each abutting right-of-way	D	F	One per each 350 sq. ft. of gross floor area. See Section 60 of this Chapter.	<ol style="list-style-type: none"> The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. The following uses are not permitted in this zone: <ol style="list-style-type: none"> Vehicle service stations. Vehicle and/or boat sale, repair, service or rental. Drive-in facilities and drive-through facilities. Ancillary assembly and manufacture of goods on the premises of this use are permitted only if: <ol style="list-style-type: none"> The assembled or manufactured goods are directly related to and dependent upon this use, and are available for purchase and removal from the premises. The outward appearance and impacts of this use with ancillary assembly or manufacturing activities must be no different from other retail uses. A use involving the preparation and consumption of food may include, as part of the use, accessory seating if: <ol style="list-style-type: none"> The seating and associated circulation area does not exceed more than 10% of the gross floor area of this use; and It can be demonstrated to the City that the floor plan is designed to preclude the seating area from being expanded. The parking requirement for hotel or motel use does not include parking requirements for ancillary meetings and convention facilities. Additional parking requirements for ancillary uses shall be determined on a case-by-case basis. Buildings exceeding 35 feet above average building elevation shall be permitted only if design techniques are used to minimize perceived building mass and achieve superior architectural and human scale from abutting rights-of-way and public open spaces. In meeting this requirement, buildings shall exceed the design requirements of Zoning Code Sections 50.65.5.a and 50.65.5.b, and will normally include terracing of upper floors and modulation of front facades. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. 	2 stories <u>the elevation of the abutting right-of-way</u>
ZC-CBD14-23-83												

FOOTNOTES



For other information about parking and parking areas, see Chapter 105.
 For details of the regulations in this category, see Chapter 100.
 For information of the regulations in this category, see Chapter 95.
 For details of what may exceed this height limit, see Chapter 115.
 For details regarding required yards, see Chapter 115.

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USE ZONE CHART											
REGULATIONS	DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS	
		LOT SIZE	FRONT	SIDE	REAR	LOT COVERAGE					HEIGHT OF STRUCTURE
<p>USE </p> <p>Fast Food Restaurant </p>	<p>if the structure exceeds 35' above average building elevation, then Process IIB, Chapter 152, and A.B.F. Chapter 142</p> <p>the elevation of the abutting right-of-way</p>	None	0	0	0	100%	<p>55 ft. above average building elevation. See Special Regulation 3.</p> <p>2-4 stories above each abutting right-of-way</p>	D	E	<p>One per each 100 sq. ft. of gross floor area. See Section 60 of this Chapter.</p>	<p>SPECIAL REGULATIONS</p> <p>1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter.</p> <p>2. Drive-in facilities and drive-through facilities are not permitted in this Zone.</p> <p>3. Buildings exceeding 35 feet above average building elevation shall be permitted only if design techniques are used to minimize perceived building mass and achieve superior architectural and human scale from abutting rights-of-way and public open spaces. It meeting the required standard, buildings shall exceed the design requirements of Zoning Code Sections 50.65.5.a and 50.65.5.b, and will normally include terracing of upper floors and modulation of front facades.</p> <p>4. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.</p> <p>3. Height measured at the midpoint of the frontage of the subject property on the abutting right-of-way, excluding First Avenue South. Buildings exceeding two stories must demonstrate compliance with the design regulations of Section 50.65 and all provisions contained in the Downtown Plan. The City will determine compliance with these requirements through Process IIB.</p>
ZC-CB01M-23-93										<p>Revised 4/93</p> <p>For other information about parking and parking areas, see Chapter 105. For details of the regulations in this category, see Chapter 100. For information of the regulations in this category, see Chapter 95. For details of what may exceed this height limit, see Chapter 115. For details regarding required yards, see Chapter 115.</p>	

USE ZONE CHART

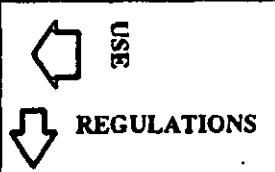
DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

REGULATIONS	REVIEW PROCESS	MINIMUMS				MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
		LOT SIZE	FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE				
<p>USE </p> <p>Private Club or Lodges </p>	<p>If the structure exceeds 35' above average building elevation then the elevation of the abutting right-of-way</p> <p>Chapter 1B, Process 1B, 152 and A-B-R-Chapter 148</p>	None	0	0	0	100%	<p>50-foot average building elevation-- See Special Regulation 5.</p> <p>2-4 stories above each abutting right-of-way</p>	D	B	<p>See Section 105.25. See Section 80 of this Chapter.</p>	<p>SPECIAL REGULATIONS</p> <p>1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter.</p> <p>2. This use may be located on the street level floor of a building only if there is an intervening retail store front between this use and the abutting right-of-way.</p> <p>3. Ancillary assembly and manufacture of goods on premises may be permitted as part of an office use if:</p> <p>a. The ancillary assembled or manufactured goods are subordinate to and dependent on the office use; and</p> <p>b. The outward appearance and impacts of this office use with ancillary assembly and manufacturing activities must be no different from other office uses.</p> <p>4. The following regulations apply to veterinary offices only:</p> <p>a. May only treat small animals on the subject property.</p> <p>b. Outside runs and other outside facilities for the animals are not permitted.</p> <p>c. Site must be designed so that noise from this use will not be audible off the subject property. A certification to this effect signed by an Acoustical Engineer, must be submitted with the A.D.R. and building permit applications.</p> <p>d. A veterinary office is not permitted if the subject property contains dwelling units.</p> <p>5. Buildings exceeding 35 feet above average building elevation shall be permitted only if design techniques are used to minimize perceived building mass and achieve superior architectural and human-scale from abutting rights-of-way and public open spaces. In meeting this requirement, buildings shall exceed the design requirements of zoning Code Sections 50.65.5.a and 50.65.5.b; and shall normally include terracing of upper floors and modulation of front facade.</p> <p>6. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.</p>
<p>Stacked or Attached Dwelling Units</p>	<p>Chapter 142, Other rules, A.D.R.</p>								<p>1.7 per unit. See Section 80 of this Chapter.</p>	<p>5.</p> <p>Height measured at the midpoint of the frontage of the subject property on the abutting right-of-way, excluding First Avenue South. Buildings exceeding two stories must demonstrate compliance with the design regulations of Section 50.65 and all provisions contained in the Downtown Plan. The City will determine compliance with these requirements through Process 11B.</p>	

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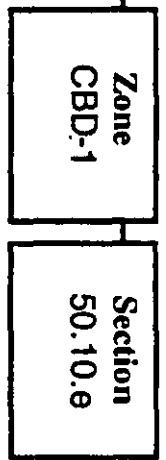
Revised 4/03

For other information about parking and parking areas, see Chapter 105.
 For details of the regulations in this category, see Chapter 100.
 For information of the regulations in this category, see Chapter 95.
 For details of what may exceed this height limit, see Chapter 115.
 For details regarding required yards, see Chapter 115.



DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

USE ZONE CHART



SPECIAL REGULATIONS

REQUIRED REVIEW PROCESS	MINIMUMS				MAXIMUMS
	LOT SIZE	FRONT	SIDE	REAR	
If the structure exceeds above average building elevation then Chapter 152 and A.B.R. Chapter 142	None	0	0	0	100%
	2 stories	0	0	0	52 feet above average building elevation. See Special Regulation 7.
the elevation of the abutting right-of-way					2-4 stories above each abutting right-of-way
					D
					B
					See Section 105.25 and Section 80 of this Chapter.

- The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 85 of this Chapter.
- A six-foot high fence is required along all property lines adjacent to outside play areas.
- Structured play areas must be set back from all property lines by at least five feet.
- Hours of operation may be limited by the City to reduce impacts on nearby residential uses.
- An on-site passenger loading area may be required depending on the number of attendees and the extent of the abutting right-of-way improvements.
- These uses are subject to the requirements established by the Department of Social and Health Services (WAC 388-73, 388-150, and 388-155).
- Buildings exceeding 35 feet above average building elevation shall be permitted only if design techniques are used to minimize perceived building mass and achieve superior architectural and human scale from abutting rights-of-way and public open spaces. In meeting the requirement, buildings shall exceed the design requirements of Zoning Code Sections 50.65.6 and 50.65.7b and shall normally include terracing of upper floors and modulation of roof heights.
- Refer to Chapter 1 to determine what other provisions of the Code may apply to the subject property.

7. Height measured at the midpoint of the frontage of the subject property on the abutting right-of-way, excluding First Avenue South. Buildings exceeding two stories must demonstrate compliance with the design regulations of Section 50.65 and all provisions contained in the Downtown Plan. The City will determine compliance with these requirements through Process IIB.

ZC-CBD 14 23-03

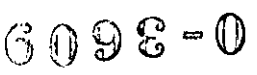
Revised 4/83

FOOTNOTES


For other information about parking and parking area, see Chapter 105.
 For details of the regulations in this category, see Chapter 100.
 For information of the regulations in this category, see Chapter 95.
 For details of what may exceed the height limit, see Chapter 115.
 For details regarding required yards, see Chapter 115.

PAGE

94E



USE ZONE CHART

REGULATIONS
 USE 

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

Zone
 CBD-1

Section
 50.10.f

SPECIAL REGULATIONS

1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter.
2. Buildings exceeding 25 feet above average building elevation shall be permitted only if design features are used to minimize perceived building mass and achieve superior architectural and human scale from abutting rights-of-way and public open spaces. In meeting this requirement, buildings shall exceed the design requirements of Zoning Code Sections 60-65.5.a and 60-65.5.b, and will normally include fencing of upper floors and modulation of front facades.
3. Landscape Category B or C may be required depending on the type of use on the subject property and the impacts associated with the use on nearby uses.
4. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.

2. Height measured at the midpoint of the frontage of the subject property on the abutting right-of-way, excluding First Avenue South. Buildings exceeding two stories must demonstrate compliance with the design regulations of Section 50.65 and all provisions contained in the Downtown Plan. The City will determine compliance with these requirements through Process IIB.

REQUIRED REVIEW PROCESS	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES
	LOT SIZE	FRONT	SIDE	REAR	HEIGHT OF STRUCTURE			
If the structure exceeds 25 feet above average building elevation then Process IIB, Chapter 152 and A-D-R Chapter 142 Otherwise, A.D.R. Chapter 142	None	0	0	0	100% 52 feet above average building elevation See Special Regulation 2. 2-4 stories above each abutting right-of-way	D See Special Reg. 3	B	See Section 105.25 and Section 60 of this Chapter.

ZC-CBD 1A-28-93

Revised 4/93

For other information about parking and parking areas, see Chapter 105.
 For details of the regulations in this category, see Chapter 100.
 For information of the regulations in this category, see Chapter 95.
 For details of what may exceed this height limit, see Chapter 115.
 For details regarding required yards, see Chapter 115.

PAGE
 94F

FOOTNOTES

USE ZONE CHART

DIRECTIONS: FIRST, read down to find Use... THEN, across for REGULATIONS

USE REGULATIONS	REQUIRED REVIEW PROCESS	MINIMUMS				MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
		LOT SIZE	REQUIRED YARDS			LOT COVERAGE	HEIGHT OF STRUCTURE				
			FRONT	SIDE	REAR						
Public Transit Shelter	None	None	0	0	0	100%	15 feet above average building elevation	See Spec. Reg. 2	None	<p>1. May be permitted only if it will not unreasonably impede pedestrian movement or create traffic safety problems.</p> <p>2. May install transit route and information signs and markers.</p>	
Public Park	If the structure exceeds 36-2 stories above the elevation of the abutting right-of-way then Chapter 18, of-way 150 and A-B-F Chapter 142	None	Will be determined on a case-by-case basis.	Will be determined on a case-by-case basis.	Will be determined on a case-by-case basis.	100%	52 feet above average building elevation. See Special Regulation 2. 2-4 stories above each abutting right-of-way	B	See Section 105.25 and Section 80 of this Chapter	<p>1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 85 of this Chapter.</p> <p>2. Buildings exceeding 35 feet above average building elevation shall be permitted only if design techniques can be used to minimize perceived building mass and achieve superior architectural and human scale from abutting rights-of-way and public open spaces. In meeting this requirement, buildings shall exceed the design requirements of Zoning Code Sections 50.05.5.a and 50.05.5.b, and will normally include terracing of upper floors and modulation of front facades.</p> <p>3. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.</p> <p>Height measured at the midpoint of the frontage of the subject property on the abutting right-of-way, excluding First Avenue South. Buildings exceeding two stories must demonstrate compliance with the design regulations of Section 50.65 and all provisions contained in the Downtown Plan. The City will determine compliance with these requirements through Process IIB.</p>	

Zone CBD-1

Section 50.10.g

Revised 4/80

For other information about parking and parking areas, see Chapter 105. For details of the regulations in this category, see Chapter 100. For information of the regulations in this category, see Chapter 95. For details of what may exceed the height limit, see Chapter 115. For details regarding required yards, see Chapter 115.

PAGE 94G

FOOTNOTES

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

USE REGULATIONS	REQUIRED REVIEW PROCESS	MINIMUMS			LOT COVERAGE	HEIGHT OF STRUCTURE	LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
		LOT SIZE	REQUIRED YARDS							
			FRONT	SIDE						
A Retail Establishment, other than those specifically listed, limited, or prohibited in this zone, selling goods or providing services, including banking and related financial services	If the structure exceeds 35' above average building elevation then Chapter 182, and A.D.R. Chapter 142 - See Sec. 10	0	0	0	100%	a. 52 feet above - Lakeshore - Plaza measured at the midpoint - height of the subject property on Lakeshore - Plaza - 2 - 40 feet	D See Special Reg. 12	E	One per each 350 sq. ft. of gross floor area. See Section 60 of this Chapter.	1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. 2. The following provisions, which supersede any conflicting provisions of this Chapter, apply only if the subject property abuts or includes a portion of Lake Washington: a. A high waterline yard equal in depth to the greater of 15 feet or 15 percent of the average parcel depth is hereby established on the subject property. b. Balconies that are at least 15 feet above finished grade may extend up to 4 feet into the high waterline yard. c. No structure, other than moored structures, may be waterward of the high waterline. For regulation regarding moorings, see the moorage listings in this zone. d. Must provide public pedestrian access from an adjoining right-of-way to and along the entire waterfront of the subject property within the high waterline yard. In addition, the City may require that part or all of the high waterline yard be developed as a public use area. The City shall require signs designating public pedestrian access and public use areas. 3. The following uses are not permitted in this Zone: a. Vehicle service stations. b. Vehicle or boat sales, repair, service or rental. c. Drive-in facilities and drive-through facilities. 4. Ancillary assembly and manufacture of goods on the premises of this use are permitted only if: a. The assembled or manufactured goods are directly related to and dependent upon this use, and are available for purchase and removal from the premises. b. The outward appearance and impacts of this use with ancillary assembly or manufacturing activities must be no different from other retail uses. 5. A retail use involving the preparation and consumption of food may include, as part of this use, accessory seating if: a. The seating and associated circulation area does not exceed more than 10% of the gross floor area of this use; and b. It can be demonstrated to the City that the floor plan is designed to preclude the seating area from being expanded. 6. The parking requirement for hotel or motel use does not include parking requirements for ancillary meetings and convention facilities. Additional parking requirements for ancillary uses shall be determined on a case-by-case basis.
Entertainment, Cultural and/or Recreational Facility	Chapter 142 - See Sec. 10	0	0	0	100%	above each right-of-way measured at the midpoint of the frontage of the subject property on each right-of-way. See also Special Regulations 10 and 11, 13, and 14	D See Special Reg. 12	E	See Section 105.25 and Section 60 of this Chapter.	
Hotel or Motel	Chapter 142 - See Sec. 10	0	0	0	100%	above each right-of-way measured at the midpoint of the frontage of the subject property on each right-of-way. See also Special Regulations 10 and 11, 13, and 14	D See Special Reg. 12	E	One for each room. See Special Regulation 6 and Section 60 of this Chapter.	
Restaurant or Tavern	Chapter 142 - See Sec. 10	0	0	0	100%	above each right-of-way measured at the midpoint of the frontage of the subject property on each right-of-way. See also Special Regulations 10 and 11, 13, and 14	D See Special Reg. 12	E	One per each 125 sq. ft. of gross floor area. See Section 60 of this Chapter.	

ZC-CBD25-19-93

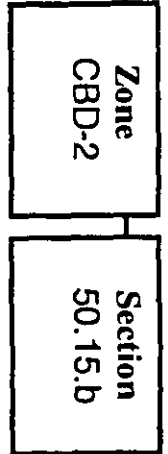
REGULATIONS CONCLUDED ON NEXT PAGE

Revised 4/83

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FOOTNOTES

USE REGULATIONS	DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS						USE ZONE CHART
	REQUIRED REVIEW PROCESS	MINIMUMS			MAXIMUMS		
		LOT SIZE	FRONT	SIDE	REAR	LOT COVERAGE	
A Retail Establishment, selling goods or providing services, including banking and related financial services Entertainment, Cultural and/or Recreational Facility: Hotel or Motel: Restaurant or Tavern (continued)							LANDSCAPE CATEGORY SIGN CATEGORY REQUIRED PARKING SPACES
<p>7. See Section 18 of this Chapter for regulations regarding bulkheads and land surface modification. In addition, refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.</p> <p>8. This development may also be regulated under the City's Shoreline Master Program; consult that document.</p> <p>9. May not use land waterward of the right waterline to determine lot size or to calculate allowable density.</p> <p>10. South of 2nd Avenue South and west of Lake Street South, maximum height of structure is 44 feet above building elevation.</p> <p>11. Buildings exceeding 35 feet above average building elevation shall be permitted only if design techniques are used to minimize perceived building mass and achieve superior architectural and human-scale from abutting rights-of-way and public open spaces. In meeting this requirement, buildings shall exceed the design requirements of Section 50.65.e and 50.65.f.5 and will normally include terracing of upper floors and modulation of front facade.</p> <p>12. Landscape Category B is required if the subject property is adjacent to WDI zone.</p> <p>13. Along Lake Street South, north of Kirkland Avenue, buildings exceeding one story above Lake Street South shall be reviewed through Process IIB. Buildings exceeding one story shall demonstrate compliance with the Design Regulations of Section 50.65 and all provisions of the Downtown Plan. Through Process IIB the City shall find that any allowance for additional height is clearly outweighed by identified public benefits such as through-block public pedestrian access or through-block view corridors.</p> <p>14. In no case shall the height exceptions identified in Section 50.62 and 115.60.2.d result in a structure which exceeds 28 feet above the abutting right-of-way.</p> <p>15. For purposes of measuring building height, if the subject property abuts more than one right-of-way, the applicant may choose which right-of-way shall be used to measure the allowed height of structure.</p>							



SPECIAL REGULATIONS

FOOTNOTES

ZC CBD25-18 93

14

South of Second Avenue South, maximum height of structure is three stories above Lake Street South as measured at the midpoint of the frontage of the subject property on Lake Street South. Buildings exceeding two stories shall be reviewed through Process IIB and shall demonstrate compliance with the design regulations of Section 50.65 and all provisions of the Downtown Plan


USE REGULATIONS	DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS											USE ZONE CHART	
	REQUIRED REVIEW PROCESS	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS	Zone	Section	
		LOT SIZE	FRONT	SIDE	REAR	LOT COVERAGE					HEIGHT OF STRUCTURE	CBD-2	50.15.c
School, Day-Care Center, or Mini School of Day-Care Facility	<p>if the structure exceeds 35' above average building elevation, then Process IIB, Chapter 162, and A.O.R. Chapter 142</p> <p>Otherwise, A.O.R. Chapter 142 - SEE SPECIAL REG. 11</p> <p>NEW SPECIAL REG.</p>	None	0	0	0	100%	<p>a. 62 feet above Lakeshore Plaza measured at the midpoint of the frontage of the subject property on Lakeshore Plaza.</p> <p>b. 30 feet above each abutting right-of-way measured at the midpoint of the frontage of the subject property on each right-of-way.</p> <p>See Special Regulations 11 and 12.</p> <p>13, Add 14</p>	D	B	See Section 105.25 and Section 80 of this Chapter.	<ol style="list-style-type: none"> The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 85 of this Chapter. The following provisions, which supercede any conflicting provisions of this Chapter, apply only if the subject property abuts or includes a portion of Lake Washington: <ol style="list-style-type: none"> A high waterline yard equal in depth to the greater of 15 feet or 15 percent of the average parcel depth is hereby established on the subject property. Balconies that are at least 15 feet above finished grade may extend up to 4 feet into the high waterline yard. No structure, other than moored structures, may be waterward of the high waterline. For regulations regarding moorages, see the moorage listings in this Zone. A 6-foot high fence is required along all property lines adjacent to outside play areas. Structured play areas must be set back from all property lines by at least five feet. Hours of operation may be limited by the City to reduce impacts on nearby residential uses. An on-site passenger loading area may be required depending on the number of attendees and the extent of the abutting right-of-way improvements. These uses are subject to the requirements established by the Department of Social and Health Services (WAC 388-73, 388-150, and 388-155). See Section 18 of this Chapter for regulations regarding bulkheads and land surface modification. In addition, refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. This development may also be regulated under the City's Shoreline Master Program; consult that document. May not use land waterward of the high waterline to determine lot size or to calculate allowable density. South of 2nd Avenue South and west of Lake Street South, maximum height of structure is 41 feet above average building elevation. Buildings exceeding 25 feet above average building elevation shall be permitted only if design techniques are used to minimize perceived building mass and achieve superior architectural and human scale from abutting rights-of-way and public open spaces. In meeting this requirement, buildings shall exceed the design requirements of Zoning Code Sections 50.65.a and 50.65.b.b, and will normally include terracing of upper floors and modulation of front facades. Revised 4/91 		
<p>11. Along Lake Street South, north of Kirkland Avenue, buildings exceeding one story above Lake Street South shall be reviewed through Process IIB. Buildings exceeding one story shall demonstrate compliance with the Design Regulations of Section 50.65 and all provisions of the Downtown Plan. Through Process IIB the City shall find that any allowance for additional height is clearly outweighed by identified public benefits such as through-block public pedestrian access or through-block view corridors.</p>													
<p>12. In no case shall the height exceptions identified in Section 50.62 and 115.60.2.d result in a structure which exceeds 28 feet above the abutting right-of-way.</p>													
<p>13. For purposes of measuring building height, if the subject property abuts more than one right-of-way, the applicant may choose which right-of-way shall be used to measure the allowed height of structure.</p>													
<p>14. South of Second Avenue South, maximum height of structure is three stories above Lake Street South as measured at the midpoint of the frontage of the subject property on Lake Street South. Buildings exceeding two stories shall be reviewed through Process IIB and shall demonstrate compliance with the design regulations of Section 50.65 and all provisions of the Downtown Plan</p>													

ZC-CBD2/5-5-93

FOOTN

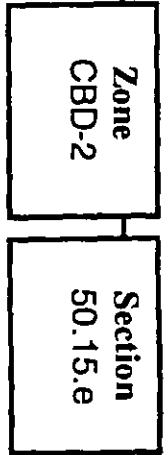
USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

REGULATIONS	REQUIRED REVIEW PROCESS	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS	
		LOT SIZE	FRONT	SIDE	REAR	LOT COVERAGE					HEIGHT OF STRUCTURE
<p>USE </p> <p>Private Club or Lodge</p>	<p>If the structure exceeds 38' above average building elevation then: Precase-118, Chapter-153, and A.D.R. Chapter-142</p> <p>Otherwise, A.D.R. Chapter 142 - <u>SEE SPECIAL P.P.C. 9</u></p>	None	0	0	0	100%	<p>a. 52 feet above Lakeshore Place measured at the midpoint of the frontage of the subject property on Lakeshore Place</p> <p><u>2</u> <u>50</u> <u>14</u> <u>12</u></p> <p>b. 38 feet above each abutting right-of-way measured at the midpoint of the frontage of the subject property on each right-of-way.</p> <p>See Special Regulations 9, 12, and 13</p>	<p>D See Special Reg. 11</p> <p>D See Special Reg. 11</p>	<p>B</p> <p>D</p>	<p>See Section 105.25 and Section 60 of this Chapter.</p> <p>One per 350 sq. ft. of gross floor area.</p> <p>See Section 60 of this Chapter.</p>	<p>1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter.</p> <p>2. The following provisions, which supersede any conflicting provisions of this Chapter, apply only if the subject property abuts or includes a portion of Lake Washington:</p> <p>a. A high waterline yard equal in depth to the greater of 15 feet or 15 percent of the average parcel depth is hereby established on the subject property.</p> <p>b. Balconies that are at least 15 feet above finished grade may extend up to 4 feet into the high waterline yard.</p> <p>c. No structure, other than moored structures, may be waterward of the high waterline. For regulations regarding moorages, see the moorage listings in this Zone.</p> <p>d. Must provide public pedestrian access from an adjoining right-of-way to and along the entire waterfront of the subject property within the high waterline yard. In addition, the City may require that part or all of the high waterline yard be developed as a public use area. The City shall require signs designating public pedestrian access and public use areas.</p> <p>3. Ancillary assembly and manufacture of goods on premises may be permitted as part of an office use if:</p> <p>a. The ancillary assembled or manufactured goods are subordinate to and dependent on this office use; and</p> <p>b. The outward appearance and impacts of this office use with ancillary assembly and manufacturing activities must be no different from other office uses.</p> <p>4. This use may be located on the street level floor of a building only if there is an intervening retail store front between this use and the abutting right-of-way.</p> <p>5. Veterinary offices are not permitted in this Zone.</p> <p>6. See Section 18 of this Chapter for regulations regarding bulkheads and land surface modification. In addition, refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.</p> <p>7. This development may also be regulated under the City's Shoreline Master Program; consult that document.</p> <p>8. May not use land waterward of the high waterline to determine lot size or to calculate allowable density.</p> <p>9. South of 2nd Avenue South and west of Lake Street South, maximum height of structures is 44 feet above average building elevation.</p>
ZC-CBD2/S-5.93										<p>REGULATIONS CONTINUED ON NEXT PAGE</p> <p>Revised 4/83</p>	

For other information about parking and parking areas, see Chapter 105. For details of the regulations in this category, see Chapter 100. For information of the regulations in this category, see Chapter 95. For details of what may exceed this height limit, see Chapter 115. For details regarding required yards, see Chapter 115.

USE REGULATIONS	DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS						USE ZONE CHART		
	REQUIRED REVIEW PROCESS	MINIMUMS REQUIRED YARDS			MAXIMUMS		SPECIAL REGULATIONS	Zone CBD-2	Section 50.15.e
		FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE			
Private Club or Lodge; Office Use-continued									



10. Buildings exceeding 35 feet above average building elevation shall be permitted only if design techniques are used to minimize potential building mass and achieve superior architectural and human-scale from abutting rights-of-way and public open spaces. In meeting this requirement, buildings shall exceed the design maximums of Zoning Code Sections 50.65.a and 50.65.b, and shall normally include terracing of upper floors and modulation of front facades.

11. Landscape Category C is required if the subject property is adjacent to WDI zone.

- 9. Along Lake Street South, north of Kirkland Avenue, buildings exceeding one story above Lake Street South shall be reviewed through Process IIB. Buildings exceeding one story shall demonstrate compliance with the Design Regulations of Section 50.65 and all provisions of the Downtown Plan. Through Process IIB the City shall find that any allowance for additional height is clearly outweighed by identified public benefits such as through-block public pedestrian access or through-block view corridors.
- 10. In no case shall the height exceptions identified in Section 50.62 and 50.62.d result in a structure which exceeds 28 feet above the abutting right-of-way.
- 12. For purposes of measuring building height, if the subject property abuts more than one right-of-way, the applicant may choose which right-of-way shall be used to measure the allowed height of structure.
- 13. South of Second Avenue South, maximum height of structure is three stories above Lake Street South as measured at the midpoint of the frontage of the subject property on Lake Street South. Buildings exceeding two stories shall be reviewed through Process IIB and shall demonstrate compliance with the design regulations of Section 50.65 and all provisions of the Downtown Plan

For other information about parking and parking areas, see Chapter 105.
For details of the regulations in this category, see Chapter 100.
For information of the regulations in this category, see Chapter 95.
For details of what may exceed the height limit, see Chapter 115.
For details regarding required yards, see Chapter 115.

FOOTNOTES



ZC-CBD2/4-26-93

Revised 4/93

USE REGULATIONS	DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS										USE ZONE CHART		
	REQUIRED REVIEW PROCESS	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS	Zone	Section	
		LOT SIZE	REQUIRED YARDS			LOT COVERAGE					HEIGHT OF STRUCTURE	CBD-2	50.15.f
		FRONT	SIDE	REAR									
Stacked or Attached Dwelling Units	If the structure exceeds 35' above average building elevation, then Process IIB, Chapter 152, and A.D.R. Chapter 142 - SEE SPECIAL REG. 7 Otherwise, A.D.R. Chapter 142 - SEE SPECIAL REG. 7	None	0	0	0	100%	a. 52 feet above Lakeshore Plaza measured at the midpoint of the frontage of the subject property on Lakeshore Plaza. 2 stories b. 30 feet above each abutting right-of-way measured at the midpoint of the frontage of the subject property on each right-of-way. See Special Regulations 7 and 8, 9 and 10	D	A	1.7 per unit See Section 60 of this Chapter.	1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. 2. The following provisions, which supercede any conflicting provisions of this Chapter, apply only if the subject property abuts or includes a portion of Lake Washington: a. A high waterline yard equal in depth to the greater of 15 ft. or 15 percent of the average parcel depth is hereby established on the subject property. b. Balconies that are at least 15 feet above finished grade may extend up to 4 feet into the high waterline yard. c. No structure, other than moored structures, may be waterward of the high waterline. For regulations regarding moorages, see the moorage listings in this Zone. d. Must provide public pedestrian access from an adjoining right-of-way to and along the entire waterfront of the subject property within the high waterline yard. In addition, the City may require that part or all of the high waterline yard be developed as a public use area. The City shall require signs designating public pedestrian access and public use areas. 3. This use may be located on the street level floor of a building only if there is an intervening retail store front between this use and the abutting right-of-way. 4. See Section 18 of this Chapter for regulations regarding bulkheads and land surface modification. In addition, refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. 5. This development may also be regulated under the City's Shoreline Master Program; consult that document. 6. May not use land waterward of the high waterline to determine lot size or to calculate allowable density. 7. South of 2nd Avenue South and west of Lake Street South, maximum height of structure is 41 feet above average building elevation. 8. Buildings exceeding 35 feet above average building elevation shall be permitted only if design techniques are used to minimize perceived building mass and achieve superior architectural and human scale from abutting rights-of-way and public open spaces. In meeting this requirement, buildings shall exceed the design requirements of Zoning Code Sections 50.65.a and 50.65.b, and will normally include terracing of upper floors and modulation of front facades.	Zone CBD-2	Section 50.15.f
1	Along Lake Street South, north of Kirkland Avenue, buildings exceeding one story above Lake Street South shall be reviewed through Process IIB. Buildings exceeding one story shall demonstrate compliance with the Design Regulations of Section 50.65 and all provisions of the Downtown Plan. Through Process IIB the City shall find that any allowance for additional height is clearly outweighed by identified public benefits such as through-block public pedestrian access or through-block view corridors.												
ZC-CBD	2	In no case shall the height exceptions identified in Section 50.62 and 115.60.2.d result in a structure which exceeds 28 feet above the abutting right-of-way.											
FO	9	For purposes of measuring building height, if the subject property abuts more than one right-of-way, the applicant may choose which right-of-way shall be used to measure the allowed height of structure.											
											4/93		
											95F		
											... height limit, see Chapter 115. † or details regarding required yards, see Chapter 115.		

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

REGULATIONS	REQUIRED REVIEW PROCESS	LOT SIZE	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
			FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE				
USE   Public Access Pier or Boardwalk	ADR Chapter 142	None	Landward of the high water line 0	Waterward of the high water line 0	0	0	0	See Spec. Reg. 8	-	1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. 2. No accessory uses, buildings, or activities may be permitted as part of this use. 3. If a structure will extend waterward of the Inner Harbor Line, the applicant must obtain a lease from the Washington State Department of Natural Resources prior to proposing this use. 4. May not treat structures with concrete, oil base, or toxic substances. 5. Must provide at least one covered and secured waste receptacle. 6. All utility lines must be below the pier deck and, where feasible, underground. 7. Piers must be adequately lit; the source of the light must not be visible from off the subject property. 8. The pier or boardwalk must display the street address of the subject property. The address must be oriented to and visible from the lake with letters and numbers at least 4 inches high. 9. The side property line yards may be reduced for over water public access piers or boardwalks which connect with waterfront public access on adjacent property. 10. See Section 18 of this Chapter for regulations regarding bulkheads and land surface modification. In addition, refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. 11. This development may also be regulated under the City's Shoreline Master Program; consult that document. 12. May not use land waterward of the high waterline to determine lot size or to calculate allowable density.	

Zone
CBD-2

Section
50.15.g

Revised 4/83

PAGE
95G

For other information about parking and parking areas, see Chapter 105.
 For details of the regulations in this category, see Chapter 100.
 For information of the regulations in this category, see Chapter 95.
 For details of what may exceed this height limit, see Chapter 115.
 For details regarding required yards, see Chapter 115.

FOOTNOTES

ZC-CBD2F/5-5-93


USE ZONE CHART

DIRECTIONS: FIRST, read down to find Use... THEN, across for REGULATIONS

Zone
CBD-2

Section
50.15.h

USE



Moorage Facility for One or Two Boats

REQUIRED REVIEW PROCESS	LOT SIZE	MINIMUMS REQUIRED YARDS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
		FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE				
A.D.R. Chapter 142	None	Landward of the waterline 0	Waterward of the waterline 0	0	100%	Pier decks may not be more than 24 feet above mean sea level. Diving boards and similar features may not be more than 3 feet above the deck.	-	See Spec. Reg. 10	See Section 105.25 and Section 60 of this Chapter.	<ol style="list-style-type: none"> The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. No accessory use, buildings, or activities are permitted as part of this use. Various accessory components are permitted as part of a General Moorage Facility. See that listing in this Zone. Moorage structures may not extend waterward beyond a point 150 ft. from the high waterline. In addition, piers and docks may not be wider than is reasonably necessary to provide safe access to the boats, but not more than 8 feet in width. If moorage structures will extend waterward of the Inner Harbor Line, the applicant must obtain a lease from the Washington State Department of Natural Resources prior to proposing this use. May not treat structures with caustic, oil based, or toxic substances. Moored structures may not be closer than 25 feet to another moored structure not on the subject property. Must provide at least one covered and secured waste receptacle. All utility lines must be below the pier deck and, where feasible, underground. Piers must be adequately lit; the source of the light must not be visible from off the subject property. Moored structures must display the street address of the subject property. The address must be oriented to and visible from the lake, with letters and numbers at least 4 inches high. Covered moorage is not permitted. A high waterline yard equal in depth to the greater of 15 feet or 15% of the average parcel depth is hereby established on the subject property. No structure other than moorage structures may be within the high waterline yard. See Section 18 of this Chapter for regulations regarding bulkheads and land surface modification. In addition, refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. This development may also be regulated under the City's Shoreline Master Program; consult that document.

ZC-CBD2H/4-26-83

REGULATIONS CONCLUDED ON NEXT PAGE

Revised 4/83

For other information about parking and parking areas, see Chapter 105.
For details of the regulations in this category, see Chapter 100.
For information of the regulations in this category, see Chapter 95.
For details of what may exceed this height limit, see Chapter 115.
For details regarding required yards, see Chapter 115.

PAGE
95H

FOOTNOTES

USE ZONE CHART										
REGULATIONS	REVIEW PROCESS	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	PARKING SPACES	Section 50.15.i
		LOT SIZE	FRONT	SIDE	REAR	LOT COVERAGE				
<p>USE</p> <p>Moorage Facility For One or Two Boats (continued)</p> <p>General Moorage Facility</p>	<p>Process UA, Chapter 150 and A.D.R. Chapter 142 - SEE SPECIAL PERM. 23</p>	<p>None, but must have at least 100 ft. of frontage on Lake Washington</p>	<p>0 See Reg. 11</p>	<p>0 Spec. 11</p>	<p>0 Spec. 11</p>	<p>100%</p>	<p>Landward of the high waterline 20-40 feet above average building elevation. See Special Regulations 23 and 24, AND 25</p>	<p>See Spec. Reg. 6</p>	<p>B See Section 105.25 and Section 80 of this Chapter.</p>	<p>Zone CBD-2</p>
SPECIAL REGULATIONS										
<p>15. May not use land waterward of the high waterline to determine lot size or to calculate allowable density.</p> <p>1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 85 of this Chapter.</p> <p>2. The City will determine the maximum allowable number of moorages based on the following factors:</p> <ol style="list-style-type: none"> The topography of the area. The ability of the land waterward of the high waterline to support the moorages. The nature of nearby uses. The potential for traffic congestion. The effect on existing habitats. <p>3. Moorage structures may not be larger than is reasonably necessary to provide safe and reasonable moorage for the boats to be moored. The City will specifically review the size and configuration of moorage structures to insure that:</p> <ol style="list-style-type: none"> The moorage structures do not extend waterward of the point necessary to provide reasonable draft for the boats to be moored, but not beyond the Outer Harbor Line. The moored structures are not larger than is necessary to moor the specified number of boats. The moored structures will not interfere with the public use and enjoyment of the water or create a hazard to navigation. <p>4. The following accessory components are allowed if approved through Process III, Chapter 155:</p> <ol style="list-style-type: none"> Gas and oil sale for boats, if: <ol style="list-style-type: none"> Storage tanks are underground and on dry land; and The use has facilities to contain and clean up oil and gas spills. An over-water shed, which is no more than 50 square feet and not more than 10 feet high as measured from the deck, accessory to oil and gas sale for boats. Boat and motor sales and leasing. Boat or motor repair and service if: <ol style="list-style-type: none"> This activity is conducted on dry land and either totally within a building or totally sight screened from the adjoining property and the right-of-way; and All dry land motor testing is conducted within a building. Meeting and special events rooms. <p>5. Must provide public pedestrian access from an adjoining right-of-way to and along the entire waterfront of the subject property within the high waterline yard. In addition, the City may require that part or all of the high waterline yard be developed as a public use area. The City shall require signs designating public pedestrian access and public use areas.</p>										
REGULATIONS CONTINUED ON NEXT PAGE										
<p>For other information about parking and parking areas, see Chapter 105. For details of the regulations in this category, see Chapter 100. For information of the regulations in this category, see Chapter 95. For details of what may exceed this height limit, see Chapter 115. For details regarding required yards, see Chapter 115.</p>										
<p>REVISIONS</p> <p>5-83</p>										<p>PAGE 951</p>

FOOTNOTES

ZC-CBD2U4-26-93

USE ZONE CHART
 Zone CBD-2
 Section 50.15j
SPECIAL REGULATIONS

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS	MINIMUMS				MAXIMUMS	LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
	REQUIRED REVIEW PROCESS	LOT SIZE	FRONT	SIDE					
General Moorage Facility (continued)									6. The City may require the applicant to install a buffer between the subject property and adjoining property. The City will use the requirements of Chapter 95 as a guide for requiring a buffer. 7. At least one pump-out facility shall be provided for use by the general public. This facility must be easily accessible to the general public and clearly marked for public use. 8. Must provide public restrooms unless moorage is available only for the residents of dwelling units on the subject property. 9. If moored structures will extend waterward of the Inner Harbor Line, the applicant must obtain a lease from the Washington State Department of Natural Resources prior to proposing the use. 10. May not treat moored structures with creosote, oil based, or toxic substances. 11. No moorage structure may be within: a. 100 feet of a public park; b. 50 feet of any adjoining lot that contains a detached dwelling unit; and c. 25 feet of another moorage structure not on the subject property. 12. Must provide at least two covered and secured waste receptacles. 13. All utility lines must be below the pier decks and, where feasible, underground. 14. Piers must be adequately lit; the source of the light must not be visible from off the subject property. 15. Moored structures must display the street address of the subject property. The address must be oriented to and visible from the lake, with letters and numbers at least 4 inches high. 16. Covered moorage is not permitted. Aircraft moorage is not permitted. 17. A high waterline yard equal in depth to the greater of 15 feet or 15% of the average parcel depth is hereby established on the subject property. No structure other than moorage structures may be within the high waterline yard. 18. Balconies that are at least 15 feet above finished grade may extend up to 4 feet into the high waterline yard. 19. No structures, other than moorage structures, may be waterward of the high waterline.

REGULATIONS CONTINUED ON NEXT PAGE

For other information about parking and parking areas, see Chapter 105.
 For details of the regulations in this category, see Chapter 100.
 For information of the regulations in this category, see Chapter 95.
 For details of what may exceed the height limit, see Chapter 115.
 For details regarding required yards, see Chapter 115.

Reviewed 4/93

PAGE 95J

USE REGULATIONS	DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS										USE ZONE CHART	
	REQUIRED REVIEW PROCESS	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS	Zone	Section
		LOT SIZE	REQUIRED YARDS		LOT COVERAGE	HEIGHT OF STRUCTURE					CBD-2	50.15.k
		FRONT	SIDE	REAR								
General Moorage Facility (continued)										<p>20. See Section 18 of this Chapter for regulations regarding bulkheads and land surface modification. In addition, refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.</p> <p>21. This development may also be regulated under the City's Shoreline Master Program; consult that document.</p> <p>22. May not use land waterward of the high waterline to determine lot size or to calculate allowable density.</p> <p>23. South of 2nd Avenue South and west of Lake Street South, maximum height of structure is 41 feet above average building elevation.</p> <p>24. Buildings exceeding 35 feet above average building elevation shall be permitted only if design techniques are used to minimize perceived building mass and achieve superior architectural and human scale from abutting rights-of-way and public open spaces. In meeting this requirement, buildings shall exceed the design requirements of Zoning Code Sections 50.65.5.a and 50.65.5.b; and will normally include terracing of upper floors and modulation of front facades.</p> <p>23. <u>Along Lake Street South, north of Kirkland Avenue, buildings exceeding one story above Lake Street South shall be reviewed through Process IIB. Buildings exceeding one story shall demonstrate compliance with the Design Regulations of Section 50.65 and all provisions of the Downtown Plan. Through Process IIB the City shall find that any allowance for additional height is clearly outweighed by identified public benefits such as through-block public pedestrian access or through-block view corridors.</u></p> <p>24. <u>In no case shall the height exceptions identified in Section 50.62 and 115.60.2.d result in a structure which exceeds 28 feet above the abutting right-of-way.</u></p> <p>25. <u>South of Second Avenue South, maximum height of structure is three stories above Lake Street South as measured at the midpoint of the frontage of the subject property on Lake Street South. Buildings exceeding two stories shall be reviewed through Process IIB and shall demonstrate compliance with the design regulations of Section 50.65 and all provisions of the Downtown Plan</u> parking areas, see Chapter 105.</p>		
ZC-CBD2J5-5-93												

FOOTNOTES

For details of the regulations in this category, see Chapter 100.
 For information of the regulations in this category, see Chapter 95.
 For details of what may exceed this height limit, see Chapter 115.
 For details regarding required yards, see Chapter 115.

USE REGULATIONS	DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS										USE ZONE CHART		Zone CBD-2	Section 50.15.1
	REQUIRED REVIEW PROCESS	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS				
		LOT SIZE	REQUIRED YARDS			LOT COVERAGE					HEIGHT OF STRUCTURE			
		FRONT	SIDE	REAR										
Public Utility Government Facility Community Facility	If the structure exceeds 35' above average building elevation, then Process IIB, Chapter 152, and A.D.P. Chapter 142 - <u>SEE SPECIAL REG. B</u> Otherwise, A.O.R. Chapter 142 - <u>SEE SPECIAL REG. B</u>	None	0	0	0	100%	a. 52 feet above Lakeshore Plaza measured at the midpoint of the frontage of the subject property on Lakeshore Plaza. b. 30 feet above each abutting right-of-way measured at the midpoint of the frontage of the subject property on each right-of-way. See Special Regulations B and B, 10 Add 11	D See Special Reg. 2 D See Spec. Reg. 2	B B	See Section 105.25 and Section 60 of this Chapter. See Section 18 of this Chapter for regulations regarding bulkheads and land surface modification. In addition, refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. South of 2nd Avenue South and west of Lake Street South, maximum height of structure is 41 feet above average building elevation. Buildings exceeding 35 feet above average building elevation shall be permitted only if design techniques are used to minimize perceived building mass and achieve superior architectural and human scale from abutting rights-of-way and public open spaces. In meeting this requirement, buildings shall exceed the design requirements of Zoning Code Sections 50.65.5.a and 50.65.5.b, and will normally include terracing of upper floors and modulation of front facades.	<ol style="list-style-type: none"> The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. Landscape Category C is required if the subject property is adjacent to WDI zone. Landscape Category A or B may be required depending on the type of use on the subject property and the impacts associated with the use on nearby uses. May be permitted only if locating this use in the immediate area of subject property is necessary to permit efficient service to the area or the City as a whole. No structures, other than moorage structures, may be waterward at the high waterline. For regulations regarding moorages, see the moorage listings in this Zone. See Section 18 of this Chapter for regulations regarding bulkheads and land surface modification. In addition, refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. This development may also be regulated under the City's Shoreline Master Program; consult that document. May not use land waterward of the high waterline to determine lot size or to calculate allowable density. 			

11. South of Second Avenue South, maximum height of structure is three stories above Lake Street South as measured at the midpoint of the frontage of the subject property on Lake Street South. Buildings exceeding two stories shall be reviewed through Process IIB and shall demonstrate compliance with the design regulations of Section 50.65 and all provisions of the Downtown Plan

9. In no case shall the height exceptions identified in Section 50.62 and 115.60.2.d result in a structure which exceeds 28 feet above the abutting right-of-way.

10. For purposes of measuring building height, if the subject property abuts more than one right-of-way, the applicant may choose which right-of-way shall be used to measure the allowed height of structure.

Revised 4/01

PAGE
95L

0-3609

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

Zone
CBD-2

Section
50.15.m

SPECIAL REGULATIONS

1. May be permitted only if it will not unreasonably impede pedestrian movement or create traffic safety problems.
2. May install transit route and information signs and markers.
3. This development may also be regulated under the City's Shoreline Master Program; consult that document.
4. May not use land waterward of the high waterline to determine lot size or to calculate allowable density.
1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter.
2. The design and facilities of the park should emphasize its waterfront location.
3. See Section 18 of this Chapter for regulations regarding bulkheads and land surface modification. In addition, refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.
4. This development may also be regulated under the City's Shoreline Master Program; consult that document.
5. May not use land waterward of the high waterline to determine lot size or to calculate allowable density.
6. South of 2nd Avenue South and west of Lake Street South, maximum height of structure is 41 feet - above average building elevation.
7. Buildings exceeding 35 feet above average building elevation shall be permitted only if design techniques are used to minimize perceived building mass and achieve superior architectural and human-scale from abutting rights-of-way and public open spaces. In meeting this requirement, buildings shall exceed the design requirements of Zoning Code Sections 50.65.5.a and 50.65.5.b, and will normally include terracing of upper floors and modification of front facades.

Revised 4/93

PAGE
95M

REGULATIONS	REQUIRED REVIEW PROCESS	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
		LOT SIZE	FRONT	SIDE	REAR	LOT COVERAGE				
Public Transit Shelter	None	None	0	0	0	100%	15 ft. above average building elevation	See Spec. Reg. 2	None	1. May be permitted only if it will not unreasonably impede pedestrian movement or create traffic safety problems. 2. May install transit route and information signs and markers. 3. This development may also be regulated under the City's Shoreline Master Program; consult that document. 4. May not use land waterward of the high waterline to determine lot size or to calculate allowable density.
Public Park	If the structure exceeds 35' above average building elevation, then: Process IIB, Chapter 182 and A-D-R, Chapter 142 - CAP, after A, Rev. 6	None	Will be determined on a case-by-case basis				a. 52 feet above Lakeshore Plaza - measured at the midpoint of the frontage of the subject property on Lakeshore Plaza. b. 50 feet - 2 ft above abutting right-of-way measured at the midpoint of the frontage of the subject property on each right-of-way. See Special Regulations 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100	B	See Section 105.25 and Section 60 of this Chapter.	1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. 2. The design and facilities of the park should emphasize its waterfront location. 3. See Section 18 of this Chapter for regulations regarding bulkheads and land surface modification. In addition, refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. 4. This development may also be regulated under the City's Shoreline Master Program; consult that document. 5. May not use land waterward of the high waterline to determine lot size or to calculate allowable density. 6. South of 2nd Avenue South and west of Lake Street South, maximum height of structure is 41 feet - above average building elevation. 7. Buildings exceeding 35 feet above average building elevation shall be permitted only if design techniques are used to minimize perceived building mass and achieve superior architectural and human-scale from abutting rights-of-way and public open spaces. In meeting this requirement, buildings shall exceed the design requirements of Zoning Code Sections 50.65.5.a and 50.65.5.b, and will normally include terracing of upper floors and modification of front facades.

zc-cbd2.5-5.93
South of Second Avenue South, maximum height of structure is three stories above Lake Street South as measured at the midpoint of the frontage of the subject property on Lake Street South. Buildings exceeding two stories shall be reviewed through Process IIB and shall demonstrate compliance with the design regulations of Section 50.65 and all provisions of the Downtown Plan

In no case shall the height exceptions identified in Section 50.62 and 115.60.2.d result in a structure which exceeds 28 feet above the abutting right-of-way.
For purposes of measuring building height, if the subject property abuts more than one right-of-way, the applicant may choose which right-of-way shall be used to measure the allowed height of structure.

Bulkhead and Land Surface Modification

1. Bulkheads

- a. General - Bulkheads are permitted in this zone subject to all of the conditions and restrictions of this Section. A permit may be required from the U.S. Army Corps of Engineers. Consult with that agency for further information.
- b. Allowable Reasons - A bulkhead may be constructed only if--
 - 1) It is needed to prevent significant erosion due to wave action; and
 - 2) The use of vegetation will not sufficiently stabilize the shoreline to prevent significant erosion.
- c. Prohibited Location - A bulkhead may not be erected within a wetland or between a wetland and the lake.
- d. Design of Bulkhead - The bulkhead must be designed to minimize the transmittal of wave energy to other properties.
- e. Placement of the Bulkhead - The bulkhead may not extend waterward of the high waterline. If there has been severe and unusual erosion within one year preceding the application for the bulkhead, the City may allow the placement of the bulkhead to recover the dryland area lost by this erosion.
- f. Change in Configuration of the Land - Except as allowed under paragraphs 2 and 3 of this Section, alteration of the horizontal or vertical configuration of the land must be kept to a minimum.
- g. Backfill - The extent and nature of any backfill proposed landward of the bulkhead must be approved by the City.

2. Land Surface Modification Waterward of the High Waterline.

- a. General - Land surface modification waterward of the high waterline is permitted in this zone subject to all of the conditions and restrictions in this Section.
- b. Required Permit. The City will use Process IIB, described in Chapter 152 of this Code, to review and decide upon an application for a land surface modification waterward of the high waterline. This activity may also require a permit from the U.S. Army Corps of Engineers. Consult that agency for further information.

c. Allowable Reasons. The City may approve an application for a land surface modification waterward of the high waterline only if:

- 1) The land surface modification will not result in erosion of the shoreline or undermine stability of neighboring properties; and
- 2) Either:
 - a) The application is filed by a public agency to improve navigability, or public safety; or
 - b) The application is to create a public use or recreation area; or
 - c) The application is for dredging to remove silt or sediment deposited because of severe and unusual erosion or resulting from the existence of a bulkhead on nearby property.

d. Requirements for Dredging. If the land surface modification involves dredging, the following regulations apply:

- 1) Dredging spoils may not be deposited in Lake Washington and may be deposited on the subject property only if this is part of an approved development activity on the subject property.
- 2) The applicant shall restore any beneficial vegetation disturbed during dredging.

e. Requirements for Fill. If the land surface modification involves fill, the applicant must comply with the provision of paragraphs 3.d and 3.e of this Section.

3. Land Surface Modification Within the High Waterline Yard.

a. General - Land surface modification in the high waterline yard is permitted in this zone subject to all of the conditions and restrictions of this Section. This activity may also require a permit from the U.S. Army Corps of Engineers. Consult with that agency for further information.



b. Allowable Reasons - The City may approve an application for a land surface modification within the high waterline yard only if--

- 1) No unique or significant natural area of flora or fauna will be destroyed; and
- 2) Either--
 - a) The application is filed by a public agency to improve public safety, recreation, or access; or

- b) The application is part of a development proposal for the subject property and is to improve access to a pier or beach; or
 - c) The land surface modification is necessary to provide public access; or
 - d) The land surface modification is necessary to the structural safety of a structure; or
 - e) There has been severe and unusual erosion within one year directly preceding the application and the land surface modification is to restore the shoreline to its configuration prior to this erosion; or
 - f) This application is part of an application for a bulkhead approved under paragraph 1 of this Section. For backfill landward of a bulkhead, see paragraph 1.g. of this Section.
- c. Public Use Area Required - If the land surface modification within the high waterline yard is proposed as part of a development other than a small moorage facility, the City shall require that part of the high waterline be developed as a Public Use Area. The size and design of the Public Use Area must be specifically approved by the City based on the size of the subject property, the use on the subject property, and the ability to use design features to separate the Public Use Area from the private elements of the development.
- d. Material Used For Landfill - The material used in a landfill must be non-dissolving and non-decomposing. The fill material must not contain organic or inorganic material that would be detrimental to the water quality or the existing habitat.
- e. Use of Vegetation - The applicant shall stabilize exposed areas left after land surface modification with vegetation.
- f. Disposition of Excavated Materials - Dredging spoils may not be deposited in Lake Washington and may be deposited on the subject property only if this is part of an approved development activity.
4. Land Surface Modification Landward of the High Waterline Yard - Land surface modification landward of the high waterline yard is regulated like land surface modifications throughout the City. See Chapter 115 of this Code for those regulations.
5. Emergency Measures - An applicant may erect a temporary bulkhead and take other emergency measures to protect against harm to persons or property resulting from imminent and unanticipated natural hazards. The area modified must be restored to the condition that existed immediately prior to any emergency modification as soon as practicable after the emergency.

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

USE REGULATIONS	REQUIRED REVIEW PROCESS	MINIMUMS REQUIRED YARDS			LOT SIZE	MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
		FRONT	SIDE	REAR		LOT COVERAGE	HEIGHT OF STRUCTURE				
Entertainment, Cultural, and/or Recreational Facility 	A.D.P. Chapter 142	20'	0	0	80%	65-foot above average building elevation. See Special Reg. 2.	D See Special Reg. 6	E	See Section 105.25. Also see Section 60-44th Chapter.	1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. 2. No portion of a structure within 100 feet of the southerly boundary of 2nd Avenue South abutting Planned Area 6C may exceed 25 feet above average building elevation. 3. Primary vehicular access to the subject property may not be directly from Second Avenue South between Second Street South and State Street unless no other alternative exists. 4. The parking requirement for hotel or motel use does not include parking requirements for ancillary meetings and convention facilities. Additional parking requirements for ancillary uses shall be determined on a case-by-case basis. 5. If any portion of a structure is adjoining a low density zone, then either: a. The height of that portion of the structure shall not exceed 15 feet above average building elevation, or b. The horizontal length of any facade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in width. See the Section in Chapter 115 entitled "Distance Between Structures Regarding Maximum Horizontal Facade Regulation" for further details. 6. Site and building design must include installation of pedestrian linkages consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan. 7. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. 8. Landscape Category B is required if the subject property is adjacent to Planned Areas 6C, 6D, or 6J.	
Hotel or Motel 		None					D See Special Reg. 6	E	One for each room. See Spec. Reg. 4. Also see Section 60-44th Chapter.		

Section
50.20.a

Zone
CBD-3

ZC-CBD34-26-93

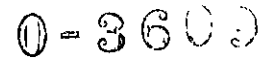
Revised 4/93

For other information about parking and parking areas, see Chapter 105.
 For details of the regulations in this category, see Chapter 100.
 For information of the regulations in this category, see Chapter 95.
 For details of what may exceed this height limit, see Chapter 115.
 For details regarding required yards, see Chapter 115.

PAGE
96A

FOOTNOTES

1. The required front yard for this use shall be 0' for one story at street level.
 No parking may encroach into the required 20' front yard.



USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

REGULATIONS	REVIEW PROCESS	LOT SIZE	MINIMUMS REQUIRED YARDS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
			FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE				
USE Restaurant or Tavern	A.D.R. Chapter 142	None	20' - SEE SPEC. REG.	0	0	80% 3 → 100%	20-foot above average building elevation. See Special Reg. 2.	D See Special Reg. 8	E	One per each 125 sq. ft. of gross floor area.	<p style="text-align: center;">SPECIAL REGULATIONS</p> <ol style="list-style-type: none"> The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. No portion of a structure within 100 feet of the southerly boundary of Second Avenue South abutting Planned Area 6C may exceed 25 feet above average building elevation. Primary vehicular access to the subject property may not be directly from Second Avenue South between Second Street South and State Street unless no other alternative exists. If a portion of a structure is adjoining a low density zone, then either: <ol style="list-style-type: none"> The height of that portion of the structure shall not exceed 15 feet above average building elevation, or The horizontal length of any facade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in width. See the Section in Chapter 115 entitled "Distance Between Structures Regarding Maximum Horizontal Facade Regulation" for further details. Drive-in facilities and drive-through facilities are not permitted in this zone. Site and building design must include installation of pedestrian bridges consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. Landscape Category B is required if the subject property is adjacent to Planned Areas 6C, 6D, or 6J. <p> 1. The required front yard for this use shall be 0' for one story at street level. No parking may encroach into the required 20' front yard. </p>

Zone
CBD-3

Section
50.20.b

ZC-CBD04-26-80

Revised 4/93

For other information about parking and parking areas, see Chapter 105.
 For details of the regulations in this category, see Chapter 100.
 For information of the regulations in this category, see Chapter 95.
 For details of what may exceed this height limit, see Chapter 115.
 For details regarding required yards, see Chapter 115.

PAGE
96B

FOOTNOTES



USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

REGULATIONS	REQUIRED REVIEW PROCESS	LOT SIZE	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
			REQUIRED YARDS			HEIGHT OF STRUCTURE	LOT COVERAGE				
			FRONT	SIDE	REAR						
<p>USE </p> <p>REGULATIONS </p> <p>Any Retail Establishment, other than those specifically listed, or prohibited in this Zone, selling goods or providing services including banking and related financial services</p>	<p>A.D.R. Chapter 142</p>	<p>None</p>	<p>20'</p> <p><i>SEE</i></p>	<p>0</p> <p><i>SEE</i></p>	<p>0</p> <p><i>SEE</i></p>	<p>80%</p> <p><i>SEE</i></p>	<p>20-feet above average building elevation. See Special Regulation 3.</p>	<p>D</p> <p>See Special Reg. 10</p>	<p>E</p>	<p>One per each 350 sq. ft. of gross floor area.</p> <p><i>See Section 60-20-10 Chapter</i></p>	<p>Zone CBD-3</p> <p>Section 50.20.c</p> <p>SPECIAL REGULATIONS</p> <ol style="list-style-type: none"> The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. The following uses are not permitted in this Zone: <ol style="list-style-type: none"> Vehicle service stations. Vehicle or boat sales, repair, service, or rental. Fast food restaurants. Drive-in facilities and drive-through facilities. No portion of a structure within 100 feet of the southerly boundary of Second Avenue South building Planned Area 6C may exceed 25 feet above average building elevation. Primary vehicular access to the subject property may not be directly from Second Avenue South between Second Street South and State Street unless no other alternative exists. Ancillary assembly and manufacture of goods on the premises of this use are permitted only if: <ol style="list-style-type: none"> The assembled or manufactured goods are directly related to and dependent upon this use, and are available for purchase and removal from the premises. The outward appearance and impacts of this use with ancillary assembly or manufacturing activities must be no different from other retail uses. A use involving the preparation and consumption of food may include, as part of the use, accessory seating if: <ol style="list-style-type: none"> The seating and associated circulation area does not exceed more than 10% of the gross floor area of this use; and It can be demonstrated to the City that the floor plan is designed to preclude the seating area from being expanded. If any portion of a structure is adjoining a low density zone, then either: <ol style="list-style-type: none"> The height of that portion of the structure shall not exceed 15 feet above average building elevation, or The horizontal length of any facade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in width. See the Section in Chapter 115 entitled "Distance Between Structures Regarding Maximum Horizontal Facade Regulation" for further details. Site and building design must include installation of pedestrian linkages consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan.

REGULATIONS CONCLUDED ON NEXT PAGE

ZC-CBD34-27-93

Revised 4/82

For other information about parking and parking areas, see Chapter 105.

For details of the regulations in this category, see Chapter 100.

For information of the regulations in this category, see Chapter 95.

For details of what may exceed this height limit, see Chapter 115.

For details regarding required yards, see Chapter 115.

PAGE

96C

FOOTNOTES

USE REGULATIONS	DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS										USE ZONE CHART		
	REQUIRED REVIEW PROCESS	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS	Zone	Section	
		LOT SIZE	REQUIRED YARDS			LOT COVERAGE					HEIGHT OF STRUCTURE	CBD-3	50.20.d
		FRONT	SIDE	REAR									
<p>Any Retail Establishment, other than those specifically listed, limited, or prohibited in this Zone, selling goods or providing services, including banking and related financial services (continued)</p> <p>Private Lodge or Club SEE <u>SPECIAL REG.</u> <u>B</u></p> <p>ZC-CBD3/4-27-93</p>	A.D.R. Chapter 142	None	20'	0	0	80%	<u>3 stories</u> 20 feet above average building elevation. See Special Regulation 3.	D See Special Reg. 7	B	See Section 105.25. See Section 60 of this Chapter.	<p>9. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.</p> <p>10. Landscape Category B is required if the subject property is adjacent to Planned Areas 6C, 6D, or 6J.</p> <p>ii. <u>The required front yard for this use shall be 0' for one story at street level. No parking may encroach into the required 20' front yard.</u></p> <p>1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter.</p> <p>2. Primary vehicular access to the subject property may not be directly from Second Avenue South between Second Street South and State Street unless no other alternative exists.</p> <p>3. No portion of a structure within 100 feet of the southern boundary of Second Avenue South abutting Planned Area 6C may exceed 25 feet above average building elevation.</p> <p>4. If any portion of a structure is adjoining a low density zone, then either: a. The height of that portion of the structure shall not exceed 15 feet above average building elevation, or b. The horizontal length of any facade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in width. See the Section in Chapter 115 entitled "Distance Between Structures Regarding Maximum Horizontal Facade Regulation" for further details.</p> <p>5. Site and building design must include installation of pedestrian linkages consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan.</p> <p>6. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.</p> <p>7. Landscape Category C is required if the subject property is adjacent to Planned Areas 6C, 6D, or 6J.</p> <p>9. <u>Ground floor porches and similar entry features may encroach into the required front yard, provided the total horizontal dimensions of such elements may not exceed 25% of the length of the facade of the structure.</u></p> <p>10. <u>This use may be located on the Kirkland Avenue level of a building only if there is an intervening retail storefront between this use and the right-of-way.</u></p>		

FOOTNOTES

For details of what may exceed this height limit, see Chapter 115.
 For details regarding required yards, see Chapter 115.

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

REGULATIONS	REVIEW PROCESS	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED SPACES	SPECIAL REGULATIONS	
		LOT SIZE	FRONT	SIDE	REAR	LOT COVERAGE					HEIGHT OF STRUCTURE
USE Office Use - 50.20.e 50.20.e 10	A.D.R. Chapter 142	None	20' 50' 50'	0	0	80% 3-10' 3-10'	D See Special Reg. 9	D	One per each 350 sq. ft. of gross floor area. See Section 65 of this Chapter.	Zone CBD-3	Section 50.20.e

FOOTNOTES

Ground floor porches and similar entry features may encroach into the required front yard, provided the total horizontal dimensions of such elements may not exceed 25% of the length of the facade of the structure.

PAGE 96E

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

REGULATIONS	REVIEW PROCESS	MINIMUMS				MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
		LOT SIZE	FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE				
Stacked or Attached Dwelling Units - <i>SEE SPECIALS</i> <i>Disc. 6</i>	A.O.R. Chapter 142	None	20' - <i>SEE SPECIALS</i> <i>Disc. 7</i>	0	0	80%	30-feet above average building elevation. See Special Regulation 2.	D	A	1.7 per unit. <i>See Section 60 of Chapter 65</i>	<p>Zone CBD-3</p> <p>Section 50.20.f</p> <p>SPECIAL REGULATIONS</p> <ol style="list-style-type: none"> The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. No portion of a structure within 100 feet of the southern boundary of Second Avenue South abutting Planned Area 6C may exceed 25 feet above average building elevation. If any portion of a structure is adjoining a low density zone, then either: <ol style="list-style-type: none"> The height of that portion of the structure shall not exceed 15 feet above average building elevation, or The horizontal length of any facade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in width. See the Section in Chapter 115 entitled "Distance Between Structures Regarding Maximum Horizontal Facade Regulation" for further details. Site and building design must include installation of pedestrian linkages consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan.
Detached Dwelling Units	None	3,600 sq. ft.	20'	5', but 2 plots yards must be at least 15'	10'	70%	If adjoining a low density zone, then 25' above coverage building elevation. Otherwise, 30' above average building elevation.	D	A	2.2 per unit	<p>Zone CBD-3</p> <p>Section 50.20.f</p> <p>SPECIAL REGULATIONS</p> <ol style="list-style-type: none"> This use may be located on the Kirkland Avenue level of a building only if there is an intervening retail storefront between this use and the right-of-way. For this use, only one dwelling unit may be on each lot regardless of size. This use may only be located west of State Street. Chapter 115 contains regulations regarding home occupations and other accessory uses, facilities, and activities associated with this use. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.

7. Ground floor porches and similar entry features may encroach into the required front yard, provided the total horizontal dimensions of such elements may not exceed 25% of the length of the facade of the structure.

ZC-CBD34-27-93

Revised 4/91

For other information about parking and parking areas, see Chapter 105.
For details of the regulations in this category, see Chapter 100.
For information of the regulations in this category, see Chapter 95.
For details of what may exceed this height limit, see Chapter 115.
For details regarding required yards, see Chapter 115.

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

REGULATIONS	USE	REQUIRED REVIEW PROCESS	LOT SIZE	MINIMUMS			MAXIMUMS			LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS		
				REQUIRED YARDS			LOT COVERAGE	HEIGHT OF STRUCTURE	REAR					SIDE	FRONT
				FRONT	SIDE	REAR									
Church	Church	A.D.R. Chapter 142	None	20'	0	0	80%	20-feet-above average building elevation. See Special Regulation 3.	D See Special Reg. 8	B	One per every four people based on maximum occupancy load of any area of worship. See Spec. Reg. 6. See Section 6C-142 Chapter 142.	<p>SPECIAL REGULATIONS</p> <ol style="list-style-type: none"> The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. Primary vehicular access to the subject property may not be directly from Second Avenue South between Second Street South and State Street unless no other alternative exists. No portion of a structure within 100 feet of the southern boundary of Second Avenue South abutting Planned Area 6C may exceed 25 feet above average building elevation. If any portion of a structure is adjoining a low density zone, then either: <ol style="list-style-type: none"> The height of that portion of the structure shall not exceed 15 feet above average building elevation, or The horizontal length of any facade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in width. See the Section in Chapter 115 entitled "Distance Between Structures Regarding Medium Horizontal Facade Regulation" for further details. Site and building design must include installation of pedestrian linkages consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan. No parking is required for day-care or school ancillary to the use. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. Landscape Category C is required if the subject property is adjacent to Planned Areas 6C, 6D, or 6J. <u>Ground floor porches and similar entry features may encroach into the required front yard, provided the total horizontal dimensions of such elements may not exceed 25% of the length of the facade of the structure.</u> 			
ZC-CBD34-27-90															

Revised 4/93

For other information about parking and parking areas, see Chapter 105.
 For details of the regulations in this category, see Chapter 100.
 For information of the regulations in this category, see Chapter 95.
 For details of what may exceed this height limit, see Chapter 115.
 For details regarding required yards, see Chapter 115.

FOOTNOTES

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

REGULATIONS	REQUIRED REVIEW PROCESS	LOT SIZE	MINIMUMS REQUIRED YARDS			HEIGHT OF STRUCTURE	LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
			FRONT	SIDE	REAR					
USE School, Day-Care Center, or Mini-School or Day-Care Center	A.D.P. Chapter 142	None	20'	0	0	60-foot above average building elevation. See Special Regulation 4.	D	B	See Section 105.25. See Section 60-4-111-Chapter-	SPECIAL REGULATIONS <ol style="list-style-type: none"> The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. A six-foot-high fence is required along all property lines adjacent to outside play areas. Primary vehicular access to the subject property may not be directly from Second Avenue South between Second Street South and State Street unless no other alternative exists. No portion of a structure within 100 feet of the southerly boundary of Second Avenue South abutting Planned Area 6C may exceed 25 feet above average building elevation. Structured play areas must be set back from all property lines by at least five feet. Hours of operation may be limited by the City to reduce impacts on nearby residential uses. An on-site passenger loading area may be required depending on the number of attendees and the extent of the abutting rights-of-way improvements. These uses are subject to the requirements established by the Department of Social and Health Services (WAC 388-72, 388-150, and 388-155). If any portion of a structure is adjoining a low density zone, then either: <ol style="list-style-type: none"> The height of that portion of the structure shall not exceed 15 feet above average building elevation. The horizontal length of any facade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in width. See the Section in Chapter 115 entitled "Distance Between Structures Regarding Maximum Horizontal Facade Regulation" for further details. Site and building design must include installation of pedestrian linkages consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan. Prior to Chapter 1 to determine what other provisions of this code may apply to the subject property. <u>Ground floor porches and similar entry features may encroach into the required front yard, provided the total horizontal dimensions of such elements may not exceed 25% of the length of the facade of the structure.</u>

2C-CBD3/4-21-93

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

REGULATIONS	REQUIRED REVIEW PROCESS	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
		FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE				
USE Public Utility	A.D.R. Chapter 142	20'	0	0	80%	30-feet above average building elevation. See Special Reg. 2.	C See Special Reg. 3	B	See Section 105.25. See Section 65 of this Chapter.	SPECIAL REGULATIONS 1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. 2. No portion of a structure within 100 feet of the southern boundary of Second Avenue South abutting Planned Area 6C may exceed 25 feet above average building elevation. 3. Landscape Category A or B may be required depending on the type of use on the subject property and the impacts associated with the use on nearby uses. 4. Landscape Category C is required if the subject property is adjacent to Planned Areas 6C, 6D, or 6J. 5. If any portion of a structure is adjoining a low density zone, then either: a. The height of that portion of the structure shall not exceed 15 feet above average building elevation, or b. The horizontal length of any facade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in width. -See the Section in Chapter 115 entitled "Distance Between Structures Regarding Maximum Horizontal Facade Regulation" for further details. 6. Site and building design must include installation of pedestrian linkages consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan. 7. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.
Government Facility or Community Facility	None	0	0	0	100%	15 feet above average building elevation	D See Special Reg's 3 and 4	See Spec. Reg. 3	None	1. May be permitted only if it will not unreasonably impede pedestrian movement or create traffic safety problems. 2. Site and building design must include installation of pedestrian linkages consistent with the major pedestrian routes in the Downtown Master Plan of the Comprehensive Plan. 3. May install transit route and information signs and markers.
Public Transit Shelter	None	0	0	0	100%	15 feet above average building elevation	D See Special Reg's 3 and 4	See Spec. Reg. 3	None	1. May be permitted only if it will not unreasonably impede pedestrian movement or create traffic safety problems. 2. Site and building design must include installation of pedestrian linkages consistent with the major pedestrian routes in the Downtown Master Plan of the Comprehensive Plan. 3. May install transit route and information signs and markers.

Zone
CBD-3

Section
50.20.i

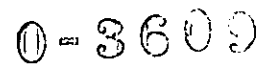
Revised 4/93

For other information about parking and parking areas, see Chapter 105.
 For details of the regulations in this category, see Chapter 100.
 For information of the regulations in this category, see Chapter 95.
 For details of what may exceed this height limit, see Chapter 115.
 For details regarding required yards, see Chapter 115.

PAGE
961

FOOTNOTES

ZC-CBD04-30-80



USE ZONE CHART										
REGULATIONS	REQUIRED REVIEW PROCESS	LOT SIZE	MINIMUMS REQUIRED YARDS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES
			FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE			
USE REGULATIONS	A.D.R. Chapter 142	None	Will be determined on a case-by-case basis			30-feet-above average building elevation. See Special Regulation 3.	1	B	See Section 105.25. See Section 60 of this Chapter.	SPECIAL REGULATION 1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. 2. Site and building design must include installation of pedestrian linkages consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan. 3. No portion of a structure within 100 feet of the southern boundary of Second Avenue South abutting Planned Area 6C may exceed 25 feet above average building elevation. 4. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.
Public Park										

Zone CBD-3

Section 50.20.j

Revised 4/83

PAGE 96J



For other information about parking and parking areas, see Chapter 105.
 For details of the regulations in this category, see Chapter 100.
 For information of the regulations in this category, see Chapter 95.
 For details of what may exceed this height limit, see Chapter 115.
 For details regarding required yards, see Chapter 115.

FOOTNOTES

ZC-C803J4-30-93

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

REGULATIONS	REVIEW PROCESS	LOT SIZE	MINIMUMS REQUIRED YARDS			MAXIMUMS	LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
			FRONT	SIDE	REAR					
USE   Restaurant or Tavern	A.D.R. Chapter 142	None	0 See Spec. Req. 2 and 7	0	0 4	100% 5	D See Special Reg. 10	E	One per each 125 sq. ft. of gross floor area. See Section 60-141b, Chapter	Zone CBD-4 Section 50.25.a SPECIAL REGULATIONS 1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. 2. Structures east of Second Street South shall be set back 20 feet from Second Avenue South. 3. Height of structure may be measured above existing grade or average building elevation, but not both. 4. Maximum height of structure is 55.4 feet above average building elevation west of Second Street South, including any adjacent structure in CBD-1 west of 2nd Street South developed with a structure in this zone. 5. No portion of a structure within 100 feet of the southerly boundary of Second Avenue South abutting Planned Area 8C shall exceed 25 feet. Structures shall be mandated and terminated on the hillside. The tallest building forms shall be grouped towards the center of the subject property with lower components towards the perimeter of the subject property. 6. The maximum height of structure on the subject property may be increased by 12 feet if the applicant provides subterranean parking for use in the CBD-1 or CBD-2 zone or makes a portion of the subject property or the proposed structure available for such parking. Any proposal under this paragraph will be reviewed and decided upon as a Planned Unit Development. Chapter 155 of this Code. As part of the PUD process, the City will determine whether the public benefit derived from providing this additional parking is sufficient to allow the increase in height and building mass. 7. No aspect or component of this use, including open dining areas, may be oriented towards Second Avenue South. 8. Primary vehicular access to the subject property may not be directly from Second Avenue South between Second Street South and State Street unless no other alternative exists. 9. If any portion of a structure is adjoining a low density zone, then either: a. The height of that portion of the structure shall not exceed 15 feet above average building elevation, or b. The horizontal length of any facade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in width. See the Section in Chapter 115 entitled "Distance Between Structures Regarding Maximum Horizontal Facade Regulation" for further details. 10. Development shall not isolate any existing detached dwelling unit in this zone.

ZC-CBD44-27-80

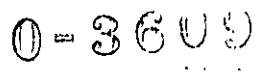
REGULATIONS CONTINUED ON NEXT PAGE

Revised 4/83

For other information about parking and parking areas, see Chapter 105.
 For details of the regulations in this category, see Chapter 100.
 For information of the regulations in this category, see Chapter 95.
 For details of what may exceed this height limit, see Chapter 115.
 For details regarding required yards, see Chapter 115.



PAGE
97A

FOOTNOTES



USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

USE REGULATIONS	REVIEW PROCESS	MINIMUMS				MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
		FRONT	SIDE	REAR	REQUIRED YARDS	LOT COVERAGE	HEIGHT OF STRUCTURE				
USE   Restaurant or Tavern (continued)											Zone CBD-4 Section 50.25.b 10. 11. 12. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. 2. Ground floor porches and similar entry features may encroach into the require front yard, provided the total horizontal dimensions of such elements may not exceed 25% of the length of the facade of the structure.

ZC-CBD44-27-93

Revised 4/90

For other information about parking and parking areas, see Chapter 105.
 For details of the regulations in this category, see Chapter 100.
 For information of the regulations in this category, see Chapter 95.
 For details of what may exceed this height limit, see Chapter 115.
 For details regarding required yards, see Chapter 115.

PAGE 97B

FOOTNOTES

USE ↓ REGULATIONS	DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS										USE ZONE CHART		Zone CBD-4		Section 50.25.c	
	REQUIRED REVIEW PROCESS	MINIMUMS				MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS					
		LOT SIZE	REQUIRED YARDS			LOT COVERAGE	HEIGHT OF STRUCTURE									
			FRONT	SIDE	REAR											
Entertainment, Cultural, and/or Recreational Facility	A.D.R. Chapter 142	None	0	0	0	100%	52 feet above average building elevation or existing grade. See Special Regulations 3, 4, 5, and 6. <i>A.P.</i>	D See Special Reg. 12-11	E	See Section 105.25. See Section 60 of this Chapter	1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. 2. Structures east of Second Street South shall be set back 20 feet from Second Avenue South. 3. Height of structure may be measured above existing grade or average building elevation, but not both. 4. Maximum height of structure is 55.4 feet above average building elevation west of 2nd Street South, including any adjacent structure in CBD-1 west of 2nd Street South developed with a structure in this zone. 5. No portion of a structure within 100 feet of the southerly boundary of Second Avenue South abutting Planned Area 6C shall exceed 25 feet. Structures shall be modulated and terraced on the hillside. The tallest building forms shall be grouped towards the center of the subject property with lower components towards the perimeter of the subject property. <u>NO PORION OF A STRUCTURE WITHIN 20 FT OF N.E. G. SHALL EXCEED 3 STORIES</u> 6. The maximum height of structures on the subject property may be increased by 10 feet if the applicant provides subterranean parking for uses in the CBD-1 or CBD-2 zones or makes a portion of the subject property or the proposed structure available for such parking. Any proposal under this paragraph will be reviewed and decided upon as a Planned Unit Development, Chapter 125 of this Code. As part of the PUD process, the City will determine whether the public benefit derived from providing this additional parking is sufficient to allow the increase in height and building mass. 7. No aspect or component of the use, including hotel/motel rooms and open dining areas, may be oriented toward Second Avenue South. 8. Primary vehicular access to the subject property may not be directly from Second Avenue South between Second Street South and State Street unless no other alternative exists. 9. The parking requirement for hotel or motel use does not include parking requirements for ancillary meetings and convention facilities. Additional parking requirements for ancillary uses shall be determined on a case-by-case basis. 10. If any portion of a structure is adjoining a low density zone, then either: a. The height of that portion of the structure shall not exceed 15 feet above average building elevation, or b. The horizontal length of any facade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in width.					
Hotel or Motel							D See Special Reg. 12-11	E	One for each room. See Spec. Reg. 8-9. Also see Section 60 of this Chapter.							
<i>New use</i> 2. <u>Ground floor porches and similar entry features may encroach into the require front yard, provided the total horizontal dimensions of such elements may not exceed 25% of the length of the facade of the structure.</u>																
ZC-CBD44-27-03										REGULATIONS CONCLUDED ON NEXT PAGE						Revised 4/90
FOOTNOTES For other information about parking and parking areas, see Chapter 105. For details of the regulations in this category, see Chapter 100. For information of the regulations in this category, see Chapter 95. For details of what may exceed this height limit, see Chapter 115. For details regarding required yards, see Chapter 115.										PAGE 97C						

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

REGULATIONS	MINIMUMS				MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
	LOT SIZE	FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE				
<p>USE </p> <p>Entertainment, Cultural, and/or Recreational Facility (continued)</p> <p>Hotel or Motel (continued)</p> <p>Any Retail Establishment, other than those specifically listed, limited, or prohibited in this zone, selling goods or providing services including banking and related financial services.</p>	None	0 See Spec. Reg. 2, and 3	0	0 A-102	100% 100%	52-feet-above average building elevation or existing grade. See Special Regulations 3-4, 5, and 6-AYD	D See Special Reg. 10-12	E	One per each 350 sq. ft. of gross floor area. See Section 65-1 of this Chapter.	<p>See the Section in Chapter 115 entitled "Distance Between Structures Regarding Maximum Horizontal Facade Projections" for further details.</p> <p>11: Development shall not isolate any existing detached dwelling unit in this zone.</p> <p>14: Landscape Category B is required if subject property is adjacent to Planned Area 6C.</p> <p>12: Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.</p> <p>1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter.</p> <p>2. Structures east of Second Street South shall be set back 20 feet from Second Avenue South.</p> <p>3. Height of structure may be measured above existing grade or average building elevation, but not both.</p> <p>4. Maximum height of structure is 55.4 feet above average building elevation west of Second Street South, including any adjacent structure in CBD-1 west of Second Street South developed with a structure in this zone.</p> <p>5. No portion of a structure within 100 feet of the southern boundary of Second Avenue South abutting Planned Area 6C shall exceed 25 feet. Structure shall be modulated and terraced on the hillside. The tallest building forms shall be grouped towards the center of the subject property with lower components towards the perimeter of the subject property. NO PORTION OF A STRUCTURE 40 FT. IN AIR S. SHALL EXCEED 30 FEET.</p> <p>6. The maximum height of structures on the subject property may be increased by 10 feet if the applicant provides a site plan showing parking for use in the CBD-1 and CBD-2 zones or makes a portion of the subject property or the proposed structure available for such parking. Any proposal under this paragraph will be reviewed and decided upon as a Planned Unit Development. Chapter 105 of this Code. As part of the PUD process, the City will determine whether the public benefit derived from providing this additional parking on site is sufficient to allow the increase in height and building mass.</p> <p>7. The following uses are not permitted in this zone: a. Vehicle service stations. b. Vehicle and/or boat sales, repair, service, or rental. c. Drive-in facilities and drive-through facilities.</p>

Zone
CBD-4

Section
50.25.d

SPECIAL REGULATIONS

Revised 4/93

REGULATIONS CONCLUDED ON NEXT PAGE

PAGE
97D

For other information about parking and parking areas, see Chapter 105.
For information of the regulations in this category, see Chapter 100.
For details of what may exceed this height limit, see Chapter 115.
For details regarding required yards, see Chapter 115.

FOOTNOTES

ZC-CBD44-27-93

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

REGULATIONS	REVIEW PROCESS	LOT SIZE	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED SPACES	SPECIAL REGULATIONS
			FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE				
<p>USE ↻</p> <p>Any Retail Establishment, other than those specifically listed, or prohibited in this zone, selling goods or providing services including banking and related financial services (continued).</p>										<p>Zone CBD-4</p> <p>Section 50.25.e</p> <p>SPECIAL REGULATIONS</p> <p>1-: Primary vehicular access to the subject property may not be directly from Second Avenue South between Second Street South and State Street unless no other alternative exists.</p> <p>2-: Ancillary assembly and manufacture of goods on the premises of this use are permitted only if: a. The assembled or manufactured goods are directly related to and dependent upon this use and are available for purchase and removal from the premises. b. The outward appearance and impacts of this use with ancillary assembly or manufacturing activities must be no different from other retail uses.</p> <p>3-: A use involving the preparation and consumption of food may include, as part of the use, accessory seating if: a. The seating and associated circulation area does not exceed more than 10% of the gross floor area of this use; and b. It can be demonstrated to the City that the floor plan is designed to preclude the seating area from being expanded.</p> <p>4-: If any portion of a structure is adjoining a low density zone, then either: a. The height of that portion of the structure shall not exceed 15 feet above average building elevation, or b. The horizontal length of any facade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in width. See the Section in Chapter 115 entitled "Distance Between Structures Regarding Maximum Horizontal Facade Regulation" for further details.</p> <p>5-: Development shall not isolate any existing detached unit in this zone.</p> <p>6-: Landscape Category B is required if subject property is adjacent to Planned Area 6C.</p> <p>7-: Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.</p> <p>8. <u>Ground floor porches and similar entry features may encroach into the yard, provided the total horizontal dimensions of such elements may not exceed 25% of the length of the facade of the structure.</u></p>	

ZC-CBD-4-27-90

Revised 4/93

FOOTNOTES

For other information about parking and parking areas, see Chapter 105.
 For details of the regulations in this category, see Chapter 100.
 For information of the regulations in this category, see Chapter 95.
 For details of what may exceed this height limit, see Chapter 115.
 For details regarding required yards, see Chapter 115.

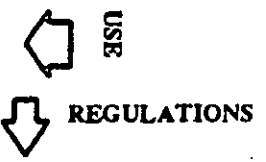
USE REGULATIONS	DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS										USE ZONE CHART		
	REQUIRED REVIEW PROCESS	LOT SIZE	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS	Zone	Section
			FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE					CBD-4	50.25.f
Private Lodge or Club	A.D.R. Chapter 142	None	12'-0" See Spec. Reg. 2 A.D.R.	0	0	100%	52 feet above average building elevation or existing grade. See Special Regulations 3, 4, 5, and 6. A.D.	D See Special Reg. 10-D	B	See Section 105.25 and Section 86 of this Chapter.	<ol style="list-style-type: none"> The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 85 of this Chapter. Structures east of Second Street South shall be set back 20 feet from Second Avenue South. Height of structure may be measured above existing grade or average building elevation, but not both. Maximum height of structure is 55.4 feet above average building elevation west of Second Street South, including any adjacent structure in CBD-1 west of Second Street South developed with a structure in this zone. No portion of a structure within 100 feet of the southerly boundary of Second Avenue South abutting Planned Area 6C shall exceed 25 feet. Structures shall be modulated and terraced on the hillside. The tallest building forms shall be grouped towards the center of the subject property with lower components towards the perimeter of the subject property. <u>NO PORTION OF A STRUCTURE TO OR IN A.P.C. SHALL EXCEED 30 FEET.</u> The maximum height of structure on the subject property may be increased by 13 feet if the applicant provides substitute on parking for uses in the CBD-1 and CBD-2 zones or makes a portion of the subject property or the proposed structure available for such parking. Any proposal under this paragraph will be reviewed and decided upon as a Planned Unit Development, Chapter 125 of this Code. As part of the PUD process, the City will determine whether the public benefit derived from providing this additional parking on site is sufficient to allow the increase in height and building mass. Primary vehicular access to the subject property may not be directly from Second Avenue South between Second Street South and State Street unless no other alternative exists. If any portion of a structure is adjoining a low density zone, then either: <ol style="list-style-type: none"> The height of that portion of the structure shall not exceed 15 feet above average building elevation, or The horizontal length of any facade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in width. See the Section in Chapter 115 entitled "Distance Between Structures Regarding Maximum Horizontal Facade Regulation" for further details. Development shall not isolate any detached dwelling unit in this zone. Landscape Category C is required if subject property is adjacent to Planned Area 6C. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. 		
<p>2. <u>Ground floor porches and similar entry features may encroach into the required front yard, provided the total horizontal dimensions of such elements may not exceed 25% of the length of the facade of the structure.</u></p>													

ZC-CBD44-27-83

FOOTNOTES

For other information about parking and parking areas, see Chapter 105.
 For details of the regulations in this category, see Chapter 100.
 For information of the regulations in this category, see Chapter 85.
 For details of what may exceed this height limit, see Chapter 115.
 For details regarding required yards, see Chapter 115.

10
11
12
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14
15



DIRECTIONS: FIG 91, read down to find use... THEN, across for REGULATIONS

USE ZONE CHART

Zone
CBD-4

Section
50.25.g

SPECIAL REGULATIONS

1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter.
2. Structures east of Second Street South shall be set back 20 feet from Second Avenue South.
3. Height of structures may be measured above existing grade or average building elevation but not both.
4. Maximum height of structures is 55.4 feet above average building elevation west of Second Street South, including any effluent structure in CBD-1 west of Second Street South developed with a structure in this zone.
5. No portion of a structure within 100 feet of the southerly boundary of Second Avenue South abutting Parcel Area 6C shall exceed 25 feet. Structures shall be measured and measured on the tallest. The tallest building forms that for ground towards the center of the subject property with lower responsible towards the perimeter of the subject property. *to be defined by a structure within 100' of the 1st Ave. S. shall be used.*
6. The maximum height of structures on the subject property may be increased by 13 feet if the applicant provides additional parking for use in the CBD-1 and CBD-2 zones or makes a portion of the subject property or the proposed structure available for such parking. Any proposal under this paragraph will be reviewed and decided upon as if it were a Third Development. Chapter 125 of the Code. As part of the full process, the City will determine whether the public benefits derived from providing the additional parking on site is sufficient to allow the increase in height and building mass.

Office Use

REQUIRED REVIEW PROCESS	MINIMUMS			MAXIMUMS	LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES
	LOT SIZE	FRONT	SIDE				
A.D.R. Chapter 142	None	10'-0" See Spec. Reg. 2. A.D.R. 3	0	0	100% <i>See text above average building elevation or existing grade. See Regulations 6-7-4, 5, and 6-12-11</i>	D See Special Reg. 12-11	D One per each 350 sq. ft. of gross floor area. See Section 60 of this Chapter.

3. Ground floor porches and similar entry features may encroach into the required front yard provided the total horizontal dimensions of such elements may not exceed 25% of the length of the facade of the structure.

ZC-CBD4W-27-60

6. Primary vehicle access to the subject property may not be directly from Second Avenue South between Second Street South and State Street unless no other alternative exists. REGULATIONS CONCLUDED ON NEXT PAGE Revised 4/83

FOOTNOTES

For other information about parking and parking areas, see Chapter 105. For details of the regulations in this category, see Chapter 100. For information of the regulations in this category, see Chapter 95. For details of what may exceed the height limit, see Chapter 115. For details regarding required yards, see Chapter 115.

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

USE REGULATIONS	REVIEW PROCESS	MINIMUMS				MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	PARKING SPACES REQUIRED	SPECIAL REGULATIONS
		LOT SIZE	FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE				
Office Use (Continued)											<p>Zone CBD-4</p> <p>Section 50.25.h</p> <p>SPECIAL REGULATIONS</p> <p>10: If any portion of a structure is adjoining a low density zone, then either: a. The height of that portion of the structure shall not exceed 15 feet above average building elevation, or b. The horizontal length of any facade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in width. See the Section in Chapter 115 entitled "Distance Between Structures Regarding Maximum Horizontal Facade Regulation" for further details.</p> <p>11: Development shall not isolate any existing detached dwelling unit in this zone.</p> <p>12: Landscape Category C b required if subject property is adjacent to Planned Area C.</p> <p>13: Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.</p>
Church	A.D.R. Chapter 142	None	0	0	100%	50-feet above average building elevation or existing grade. See Special Regulations 4, 4.5, and 6. A/D	D See Special Reg. 11-10	B	One per every 4 people based on maximum occupancy load of any area of worship. See Special Reg. 9-6.	<p>1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter.</p> <p>2. Structures east of Second Avenue South shall be set back 20 feet from Second Avenue South.</p> <p>3. Height of structure may be measured above existing grade or average building elevation, but not both.</p> <p>4. Maximum height of structure is 55.4 feet above average building elevation west of Second Street South, including any adjacent structure in CBD-1 west of Second Street South developed with a structure in this zone.</p> <p>5. No portion of a structure within 100 feet of the southerly boundary of Second Avenue South abutting Planned Area 6C shall exceed 25 feet. Structures shall be calculated and located on the hillside. The tallest building forms shall be grouped towards the center of the subject property with lower components towards the perimeter of the subject property. <u>NO PORTION OF A STRUCTURE WITHIN 40' OF 1ST AVE. S. SHALL EXCEED 3 STORIES.</u></p> <p>6. The maximum height of structures on the subject property may be increased by 10 feet if the applicant provides substantial parking for use in the CBD-1 and CBD-2 zones or makes a portion of the subject property of the proposed structure available for such parking. Any proposed under-the-parade will be reviewed and decided upon as a Planned Unit Development. Chapter 125 of this Code. As part of the PUD process, the City will determine whether the public benefit derived from providing this additional parking on site is sufficient to allow the increase in height and building mass.</p>	

ZC-CBD-44-30-93

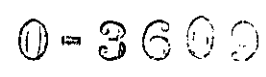
REGULATIONS CONCLUDED ON NEXT PAGE

Revised 4/83

For other information about parking and parking areas, see Chapter 105.
 For details of the regulations in this category, see Chapter 100.
 For information of the regulations in this category, see Chapter 95.
 For details of what may exceed this height limit, see Chapter 115.
 For details regarding required yards, see Chapter 115.

PAGE
97H

FOOTNOTES





DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

USE ZONE CHART

Zone
CBD-4

Section
50.25.i

REQUIRED REVIEW PROCESS	MINIMUMS REQUIRED YARDS				LOT COVERAGE	HEIGHT OF STRUCTURE	LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES
	LOT SIZE	FRONT	SIDE	REAR					

SPECIAL REGULATIONS

1- Primary vehicular access to the subject property may not be directly from Second Avenue South between Second Street South and State Street unless no other alternative exists.

2- If any portion of a structure is occupying a low density zone, then either:
 a. The height of that portion of the structure shall not exceed 15 feet above average building elevation, or
 b. The horizontal length of any facade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in width.
 See the Section in Chapter 115 entitled "Distance Between Structures Regarding Maximum Horizontal Facade Regulation" for further details.

3- No parking is required for daycare or school ancillary to the use.

4- Development shall not locate any existing detached dwelling unit in this zone.

5- Landscape Category C is required if subject property is adjacent to Planned Areas EC.

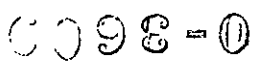
6- Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.

Church (continued)									
ZC-CBD-44-27-80									

7- Ground floor porches and similar entry features may encroach into the required front yard, provided the total horizontal dimensions of such elements may not exceed 25% of the length of the facade of the structure.

FOOTNOTES

For other information about parking and parking areas, see Chapter 105.
 For details of the regulations in this category, see Chapter 100.
 For information of the regulations in this category, see Chapter 95.
 For details of what may exceed the height limit, see Chapter 115.
 For details regarding required yards, see Chapter 115.



USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

REGULATIONS	REQUIRED REVIEW PROCESS	MINIMUMS REQUIRED YARDS				MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
		LOT SIZE	FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE				
<p>USE </p> <p>Stacked or Attached Dwelling Units </p>	<p>A.D.R. Chapter 142</p>	None	<p>0</p> <p>See Spec. Reg. 2. <u>40'</u></p>	<p>0</p> <p>4 <u>40'</u></p>	<p>0</p> <p>100%</p>	<p>66 feet above average building elevation or existing grade. See Special Regulations B, 4.5, and 6. <u>Asp</u></p>	<p>D</p> <p>See Special Reg. 3. <u>B.</u></p>	<p>A</p>	<p>1.7 per unit. See Section of this Chapter</p>	<p>Zone CBD-4</p> <p>Section 50.25.j</p> <p>SPECIAL REGULATIONS</p> <p>1. The development of the subject property and adjacent right-of-way must be consistent with the regulation of Section 65 of this Chapter.</p> <p>2. Structures east of Second Street South shall be set back 20 feet from Second Avenue South.</p> <p>3. Height of structure may be measured above existing grade or average building elevation; but not both.</p> <p>4. Maximum height of structure is 55.4 feet above average building elevation west of Second Street South, including any adjacent structure in CBD-1 west of 2nd Street South developed with a structure in this zone.</p> <p>5. No portion of a structure within 100 feet of the southerly boundary of Second Avenue South abutting Planned Area 8C shall exceed 25 feet. Structures shall be modulated and terraced on the facade.</p> <p>The tallest building forms shall be grouped towards the center of the subject property with lower components towards the perimeter of the subject property. <u>No Porch of a structure shall be 20' or less above ground level.</u></p> <p>6. The maximum height of structure on the subject property may be increased by 10 feet if the applicant provides substantial parking for use in the CBD-1 or CBD-2 zones or makes a portion of the subject property or the proposed structure available for such parking. Any proposed under this paragraph will be reviewed and decided upon as a Planned Unit Development, Chapter 145 of this Code. As part of the PUD process, the City will determine whether the public benefit derived from providing the additional parking is sufficient to allow the increase in height and building mass.</p> <p>7. If any portion of a structure is adjoining a low density zone, then either:</p> <p>a. The height of that portion of the structure shall not exceed 15 feet above average building elevation, or</p> <p>b. The horizontal length of any facade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in width.</p> <p>See the Section in Chapter 115 entitled "Distance Between Structures Regarding Maximum Horizontal Facade Regulation" for further details.</p> <p>8. Development shall not isolate any existing detached dwelling unit in this zone.</p> <p>9. Landscape Category C is required if subject property is adjacent to Planned Areas 6C.</p> <p>10. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.</p>	
<p>ZC-CBD-4-30-83</p>										<p>3. Ground floor porches and similar entry features may encroach into the required front yard, provided the total horizontal dimensions of such elements may not exceed 25% of the length of the facade of the structure. PAGE</p>	

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

REGULATIONS	REVIEW PROCESS	MINIMUMS				MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
		LOT SIZE	FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE				
<p>USE</p> <p>School, Day-Care Center or Mini-School or Day-Care Center</p> <p>REGULATIONS</p>	<p>A.D.R. Chapter 142</p>	<p>None</p>	<p>0</p>	<p>0</p>	<p>0</p>	<p>100%</p>	<p>65 feet above average building elevation or existing grade. See Special Regulations 3-4, 5 and 6.</p>	<p>D</p>	<p>B</p>	<p>See Section 105.25. See Section 60 of this Chapter.</p>	<p>SPECIAL REGULATIONS</p> <ol style="list-style-type: none"> The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. Structures east of Second Street South shall be set back 20 feet from Second Avenue South. Height of structure may be measured above existing grade or average building elevation, but not both. Maximum height of structure is 55.4 feet above average building elevation west of Second Street South, including any adjacent structure in CBD-1 west of 2nd Street South developed with a structure in this zone. No portion of a structure within 100 feet of the southerly boundary of Second Avenue South abutting Planned Area 6C shall exceed 25 feet. Structures shall be located and set back on the hillside. The tallest building faces shall be grouped towards the center of the subject property with lower components towards the perimeter to the subject property. <i>10' portion of A - structure vertical</i> The maximum height of structures on the subject property may be increased by 12 feet if the applicant provides additional parking for uses in the CBD-1 or CBD-2 zones or makes a portion of the subject property or the proposed structure available for such parking. Any proposed use in this paragraph will be reviewed and decided upon at a Planned Unit Development. Chapter 125 of this Code. As part of the PUD process, the City will determine whether the public benefits derived from providing this additional parking is sufficient to allow the increase in height and building mass. A six-foot-high fence is required along all property lines adjacent to outside play areas. Primary vehicular access to the subject property may not be directly from Second Avenue South between Second Street South and State Street unless no other alternative exists. Structured play areas must be set back from all property lines by at least five feet. Hours of operation may be limited by the City to reduce impacts on nearby residential uses. An on-site passenger loading area may be required depending on the number of attendees and the extent of the abutting right-of-way improvements. These uses are subject to the requirements established by the Department of Social and Health Services (WAC 388-73, 388-150, and 388-155).
<p>ZC-CBD4A-30-60</p>										<p>REGULATIONS CONCLUDED ON NEXT PAGE</p>	

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

USE ZONE CHART

Zone
CBD-4

Section
50.25.1



REQUIRED REVIEW PROCESS

LOT SIZE

FRONT

SIDE

REAR

LOT COVERAGE

HEIGHT OF STRUCTURE

LANDSCAPE CATEGORY

SIGN CATEGORY

REQUIRED PARKING SPACES

SPECIAL REGULATIONS

School, Day-Care Center or Mid-School or Day-Care Center (continued)

Detached Dwelling Units

ZC-CBD04-27-83

MINIMUMS

REQUIRED YARDS

MAXIMUMS

None

3,600 sq. ft.

20' - 25' - 30' - 35' - 40' - 45' - 50' - 55' - 60' - 65' - 70' - 75' - 80' - 85' - 90' - 95' - 100'

5' but 2 side yards must be at least 15'

10'

00%

If adjoining a low density zone, then 25' above average building elevation. Otherwise, 30' above building elevation.

E

A

2.0 per unit

12.

12- If any portion of a structure is adjoining a low density zone, then either:
 a. The height of that portion of the structure shall not exceed 15 feet above average building elevation, or
 b. The horizontal length of any facade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in width.
 See the Section in Chapter 115 entitled "Distance Between Structures Regarding Maximum Horizontal Facade Regulation" for further details.

13.

13- Development shall not locate any existing detached dwelling unit in this zone.

14.

14- Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.

2.

2- Ground floor porches and similar entry features may encroach into the required front yard, provided the total horizontal dimensions of such elements may not exceed 25% of the length of the facade of the structure.

1.

1- For this use, only one dwelling unit may be on each lot regardless of lot size.

2.

2- Chapter 115 contains regulations regarding home occupations and other accessory uses, facilities, and activities associated with this use.

3.

3- Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.

4.

4- Ground floor porches and similar entry features may encroach into the required front yard, provided the total horizontal dimensions of such elements may not exceed 25% of the length of the facade of the structure.

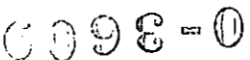
Revised 4/83

FOOTNOTES

For other information about parking and parking areas, see Chapter 105.
 For details of the regulations in this category, see Chapter 100.
 For information of the regulations in this category, see Chapter 95.
 For details of what may exceed this height limit, see Chapter 115.
 For details regarding required yards, see Chapter 115.

PAGE

97L



USE ZONE CHART

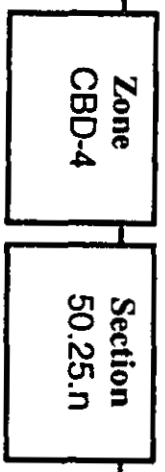
DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

REGULATIONS	REVIEW PROCESS	LOT SIZE	MINIMUMS REQUIRED YARDS			MAXIMUMS	LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED SPACES	SPECIAL REGULATIONS
			FRONT	SIDE	REAR					
USE REGULATIONS Public Utility, Government Facility, or Community Facility	A.D.R. Chapter 142	None	FRONT: See Spec. Reg. 2. <u>10</u>	SIDE: 0	REAR: 0	100%	D See Special Reg. 7	B	See Section 105.25. See Section 60 of this Chapter.	<p>Zone CBD-4</p> <p>Section 50.25.m</p> <p>SPECIAL REGULATIONS</p> <ol style="list-style-type: none"> The development of the subject property and adjacent right-of-way must be consistent with the regulations of Section 65 of this Chapter. Structures east of Second Street South shall be set back 20 feet from Second Avenue South. Height of structure may be measured above existing grade or average building elevation; but not both. Maximum height of structure is 55.4 feet above average building elevation west of Second Street South, including any adjacent structure in CBD-1 west of Second Street South developed with a structure in this zone. No portion of a structure within 100 feet of the southerly boundary of Second Avenue South abutting Planned Area 6C shall exceed 25 feet. Structures shall be located and terminated on the setbacks. The setback building forms shall be proposed towards the center of the subject property with lower components towards the perimeter of the subject property. <u>40 FEET OF A SIDEWALK</u> <u>10 FEET OF A SIDEWALK</u> <u>10 FEET OF A SIDEWALK</u> The maximum height of structures on the subject property may be increased by 10 feet if the applicant provides substantial parking for use in the CBD-1 or CBD-2 zones or makes a portion of the subject property or the proposed structure available for such parking. Any proposed under-the-parking will be reviewed and decided upon as in Planned City Development, Chapter 126 of this Code. As part of the PLD process, the City will determine whether the public benefit derived from providing the additional parking is sufficient to allow the increase in height and building mass. Landscape Category C is required if subject property is adjacent to Planned Area 6C. Landscape Category A or B may be required depending on the type of use on the subject property and impacts associated with the use on nearby uses. If any portion of a structure is adjoining a low density zone, then either: <ol style="list-style-type: none"> The height of that portion of the structure shall not exceed 15 feet above average building elevation, or The horizontal length of any facade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in width. See the Section in Chapter 115 entitled "Distance Between Structures Regarding Maximum Horizontal Facade Regulation" for further details. Development shall not isolate any existing detached dwelling unit in this zone.
ZC-CBD44-27-93							2. Ground floor porches and similar entry features may encroach into the require front yard, provided the total horizontal dimensions of such elements may not exceed 25% of the length of the facade of the structure.			Revised 4/93



DIRECTIONS: FIRST I, read down to find use. THEN, across for REGULATIONS

USE ZONE CHART



SPECIAL REGULATIONS

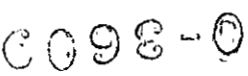
Public Terrain Shaded	REQUIRED REVIEW PROCESS	MINIMUMS			LOT COVERAGE	MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
		LOT SIZE	FRONT	SIDE		REAR	HEIGHT OF STRUCTURE				
Public Park	A.D.R. Chapter 142	None	0	0	0	100%	15 feet above average building elevation	-	See Spec. Req. 2.	None	<ol style="list-style-type: none"> 1. May be permitted only if it will not unreasonably impede pedestrian movement or create traffic safety problems. 2. May install transit route and information signs and markers.
		None	0	0	0	100%	52 feet above average building elevation or existing grade. See Special Regulations 2, 3, 4, and 5 and	-	See Section 105.25, Section 107 or other Chapter.	<ol style="list-style-type: none"> 1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. 2. Height of structure may be measured above existing grade or average building elevation, but not both. 3. Maximum height of structure is 55.4 feet above average building elevation west of 2nd Street South, including any adjacent structure in CBD-1 west of 2nd Street South developed with a structure in this zone. 4. No portion of a structure within 100 feet of the southern boundary of Second Avenue South abutting Planned Area 6C shall exceed 25 feet. Structures shall be modified and terminated on the sidewalk. The subject building terms shall be proposed towards the center of the subject property with former apartment towards the perimeter of the subject property. <u>NO RETAIL OR A MIXED USE BUILDING WITHIN 20' OF THE AVE. 5. SIDE SETBACK 3' MINIMUM.</u> 5. The maximum height of structures on the subject property may be increased by 10 feet if the applicant provides satisfactory parking for use in the CBD-1 or CBD-2 zones or makes a portion of the subject property or the proposed structure available for each parking. Any proposal under this paragraph will be reviewed and considered pursuant to Planned Unit Development, Chapter 125 of this Code. As part of the PUD process, the City will determine whether the public benefit derived from providing this additional parking is sufficient to offset the increases in height and building mass. 6. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. 	

ZC-CBD-4M4-30-83

Revised 4/83

FOOTNOTES

For other information about parking and parking areas, see Chapter 105.
 For details of the regulations in this category, see Chapter 100.
 For information of the regulations in this category, see Chapter 95.
 For details of what may exceed the height limit, see Chapter 115.
 For details regarding required yards, see Chapter 115.



USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

USE REGULATIONS	REVIEW PROCESS	LOT SIZE	MINIMUMS REQUIRED YARDS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
			FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE				
Restaurants or Tavern	A-B-C Chapter 142 If structure exceeds 2 stories above average building elevation, then Process IIB, Chapter 152. Otherwise, ADR Chapter 142	None	20' See Special Reg. 2. A-D 9	0 See Special Reg. 2. 2-6	0 See Special Reg. 2. 2-6	80% See Special Reg. 3 and 4, A-D 10	80 feet above average building elevation. See Special Regulations 3 and 4, A-D 10	0 See Special Reg. 7	E	One per each 125 sq. ft. of gross floor area. See Section 66 of this Chapter.	<p>1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter.</p> <p>2. The minimum required yard abutting Peter Kirk Park is 10 feet. No setback is required adjacent to 6th Street between 4th Avenue and Kirkland Way, or adjacent to Kirkland Way between 6th Street and the intersection of Kirkland Way/Kirkland Avenue. <u>3-102145</u></p> <p>3. No portion of a structure within 100 feet of Peter Kirk Park shall exceed 69 feet above average building elevation. <u>3-102145</u></p> <p>4. No portion of a structure above the elevation of Kirkland Way as measured at the midpoint of the frontage of the subject property on Kirkland Way may exceed the following: a. Within 20 feet of Kirkland Way, 30 feet; <u>3-102145</u> b. Within 40 feet of Kirkland Way, 52 feet; <u>4-102145</u> c. Within 50 feet of Kirkland Way, 45 feet; <u>5-102145</u> d. Within 60 feet of Kirkland Way, 60 feet; <u>5-102145</u></p> <p>5. If any portion of a structure to adjoining a low density zone, then either: a. The height of that portion of the structure shall not exceed 15 feet above average building elevation, or b. The horizontal length of any facade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in width. See the Section in Chapter 115 entitled "Distance Between Structures Regarding Maximum Horizontal Facade Regulation" for further details.</p> <p>6. The entire zone must be physically integrated both in site and building design. Also, site design must include installation of pedestrian linkages consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan, between public sidewalks and building entrances, and between walkways on the subject property and existing or planned walkways on abutting properties.</p> <p>7. Landscape Category B is required if the subject property is adjacent to 6th Street or Kirkland Avenue.</p> <p>8. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.</p> <p>9. <u>Ground floor porches and similar entry features may encroach into the required front yard, provided the total horizontal dimensions of such elements may not exceed 25% of the length of the facade of the structure.</u></p>

Zone CBD-5 Section 50.30.a

Revised 4/89

Buildings exceeding 2 stories above average building elevation shall demonstrate compliance with the design regulations of Section 50.65 and the provisions of the Downtown Plan Chapter of the Comprehensive Plan. **PAGE**

The City will use Process IIB to determine compliance. For details of what may exceed the height limit, see Chapter 115. For details regarding required yards, see Chapter 115.

98A

FOOTNOTES

ZC-CBD04-30-89

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

REGULATIONS	REVIEW PROCESS	LOT SIZE	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
			FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE				
<p>USE </p> <p>Fast Food Restaurant </p>	<p>ADR Chapter 142</p> <p>If structure exceeds 2 stories above average building elevation, then Process IB, Chapter 152. Otherwise, ADR Chapter 142</p>	None	<p>20'</p> <p>See Special Reg. 11</p>	<p>0</p> <p>See Special Regulation 2</p>	<p>0</p> <p>See Special Regulation 2</p>	<p>88-foot above average building elevation. See Special Regulations 3 and 4, A/D 12.</p>	<p>D</p> <p>See Special Reg. 9</p>	E	<p>One per each 100 sq. ft. of gross floor area. See Section 86 of this Chapter.</p>	<p>Zone CBD-5</p> <p>Section 50.30.b</p>	

1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 85 of this Chapter.

2. The minimum required yard abutting Peter Kirk Park is 10 feet. No setback is required adjacent to 6th Street between 4th Avenue and Kirkland Way, or adjacent to Kirkland Way between 6th Street and the intersection of Kirkland Way and Kirkland Avenue.

3. No portion of a structure within 100 feet of Peter Kirk Park shall exceed 20-foot above average building elevation.

4. No portion of a structure above the elevation of Kirkland Way as measured at the midpoint of the frontage of the subject property on Kirkland Way may exceed the following:

- a. Within 20 feet of Kirkland Way, 68 feet.
- b. Within 40 feet of Kirkland Way, 52 feet.
- c. Within 50 feet of Kirkland Way, 45 feet.
- d. Within 60 feet of Kirkland Way, 30 feet.

5. If any portion of a structure is adjoining a low density zone, then either:

- a. The height of that portion of the structure shall not exceed 15 feet above average building elevation, or
- b. The horizontal length of any facade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in width.

See the Section in Chapter 115 entitled "Distance Between Structures Regarding Maximum Horizontal Facade Regulation" for further details.

6. Must provide one outdoor waste receptacle for every eight parking stalls.

7. Access for drive-through facilities must be approved by the Public Works Department.

8. The entire zone must be physically integrated both in site and building design. Also, site design must include installation of pedestrian linkages consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan, between public sidewalks and building entrances, and between walkways on the subject property and existing or planned walkways on abutting properties.

9. Landscape Category A is required if the subject property is adjacent to 6th Street or Kirkland Avenue.

10. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.

Ground floor porches and similar entry features may encroach into the required front yard, provided the total horizontal dimensions of such elements may not exceed 25% of the length of the facade of the structure. PAGE

Buildings exceeding 2 stories above average building elevation shall demonstrate compliance with the design regulations of Section 50.65 and the provisions of the Downtown Plan Chapter of the Comprehensive Plan. 98B

The City will use Process IB to determine compliance.

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

REGULATIONS	REQUIRED REVIEW PROCESS	LOT SIZE	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
			FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE				
Entertainment, Cultural and/or Recreational Facility ↑ USE	A-DRP Chapter 142- If structure exceeds 2 stories above average building elevation, then Process IIB, Chapter 152, Otherwise, ADR Chapter 142	None	20'	0	0	80%	80-feet above average building elevation. See Special Regulations 3 and 4, A/D	D See Special Reg. 8	E	See Section 105.25. See Section 60 of this Chapter.	1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. 2. The minimum required yard abutting Peter Kirk Park is 10 feet. No setback is required adjacent to 6th Street between 6th Avenue and Kirkland Way, or adjacent to Kirkland Way between 6th Street and the intersection of Kirkland Way and 6th Avenue. 3. No portion of a structure within 100 feet of Peter Kirk Park shall exceed 30 feet above average building elevation. <i>3-5 stories</i> 4. No portion of a structure above the elevation of Kirkland Way as measured at the midpoint of the frontage of the subject property on Kirkland Way may exceed the following: a. Within 20 feet of Kirkland Way, 80 feet; <i>3-4 stories</i> b. Within 40 feet of Kirkland Way, 52 feet; <i>1-2 stories</i> c. Within 50 feet of Kirkland Way, 45 feet; <i>5-6 stories</i> d. Within 80 feet of Kirkland Way, 60 feet. 5. If any portion of a structure is adjoining a low density zone, then either: a. The height of that portion of the structure shall not exceed 15 feet above average building elevation, or b. The horizontal length of any facade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in width. See the Section in Chapter 115 entitled "Distance Between Structures Regarding Maximum Horizontal Facade Regulation" for further details. 6. The parking requirements for hotel or motel use does not include parking requirements for ancillary meetings and convention facilities. Additional parking requirements for ancillary use shall be determined on a case-by-case basis. 7. The entire zone must be physically integrated both in site and building design. Also, site design must include installation of pedestrian linkages consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan, between public addresses and building entrances, and between walkways on the subject property and existing or planned walkways on abutting properties. 8. Landscape Category B is required if the subject property is adjacent to 6th Street or Kirkland Avenue. 9. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.
Hotel or Motel							D See Special Reg. 8	E	One per each room. See Special Reg. 8. See Section 60 of this Chapter.		

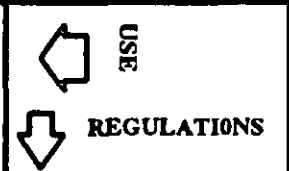
Buildings exceeding 2 stories above average building elevation shall demonstrate compliance with the design regulations of Section 50.65 and the provisions of the Downtown Plan Chapter of the Comprehensive Plan. The City will use Process IIB to determine compliance.

Ground floor porches and similar entry features may encroach into the required front yard, provided the total horizontal dimensions of such elements may not exceed 25% of the length of the facade of the structure.

PAGE 98C

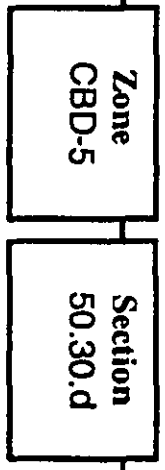
FOOTNOTES

ZC-CBD54-27-80



DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

USE ZONE CHART



SPECIAL REGULATIONS

USE REGULATIONS	REQUIRED REVIEW PROCESS			MINIMUMS			MAXIMUMS			LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES
	LOT SIZE	FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE	LANDSCAPE CATEGORY	SIGN CATEGORY				
Any Retail Establish-ment Other than those Specifically Listed, Limited, or Prohibited in the Zone, Selling Goods, or Providing Services including Banking and Related Financial Services	None	20'	0	0	80%	30-foot above average building elevation. See Special Regulations 3 and 4. <u>ADR</u>	D See Special Reg. 11	E	One per each \$50 sq. ft. of gross floor area. See Section 100- of the - <u>Chapter</u>	1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. 2. The minimum required yard setbacks Peter Kirk Park is 10 feet. No setback is required adjacent to 6th Street between 4th Avenue and Kirtland Way, or adjacent to Kirtland Way between 6th Street and the intersection of Kirtland Way and Kirtland Avenue. 3. No portion of a structure within 100 feet of Peter Kirk Park shall exceed <u>30</u> feet above average building elevation. 4. No portion of a structure above the elevation of Kirtland Way as measured at the midpoint of the frontage of the subject property on Kirtland Way may exceed the following: a. Within 20 feet of Kirtland Way, 30 feet. b. Within 40 feet of Kirtland Way, 42 feet. c. Within 50 feet of Kirtland Way, 48 feet. d. Within 60 feet of Kirtland Way, 54 feet. 5. If any portion of a structure is adjoining a low density zone, then either: a. The height of that portion of the structure shall not exceed 15 feet above average building elevation, or b. The horizontal length of any facade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in width. See the Section in Chapter 115 entitled "Distance Between Structures Regarding Maximum Horizontal Facade Regardador" for further details. 6. The following uses are not permitted in this Zone: a. Vehicle service stations. b. Vehicle or boat sale, repair, service, or rental. 7. Access for drive-through facilities must be approved by the Public Works Department. 8. Ancillary assembly and manufacture of goods on the premises of this use are permitted only if: a. The assembled or manufactured goods are directly related to and dependent upon the use and are available for purchase and removal from the premises. b. The outward appearance and impacts of this use with ancillary assembly or manufacturing activities must be no different from other retail uses.		

ZCCBDSA-27-83

REGULATIONS CONCLUDED ON NEXT PAGE

Revised 4/03

FOOTNOTES

For other information about parking and parking areas, see Chapter 105.
For details of the regulations in this category, see Chapter 100.
For information of the regulations in this category, see Chapter 95.
For details of what may exceed the height limit, see Chapter 115.
For details regarding required yards, see Chapter 115.



USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

USE REGULATIONS	REQUIRED REVIEW PROCESS	LOT SIZE	MINIMUMS REQUIRED YARDS			LOT COVERAGE	HEIGHT OF STRUCTURE	LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	Section 50.30.e	Zone CBD-5
			FRONT	SIDE	REAR							
<p>Any Retail Establish- ment Other than those Specifically listed, Limited, or Prohibited in this Zone, Selling Goods, or Providing Services including Banking and Related Financial Services (continued)</p>												
SPECIAL REGULATIONS												
<p>9. A use involving the preparation and consumption of food may include, as part of this use, accessory seating if:</p> <ul style="list-style-type: none"> a. The seating and associated circulation area does not exceed more than 10% of the gross floor area of this use; and b. It can be demonstrated to the City that the floor plan is designed to preclude the seating area from being expanded. <p>10. The entire zone must be physically integrated both in site and building design. Also, site design must include pedestrian linkages consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan, between public sidewalks and building entrances, and between walkways on the subject property and existing or planned walkways on abutting properties.</p> <p>11. Landscape Category B is required if the subject property is adjacent to 6th Street or Kirkland Avenue.</p> <p>12. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.</p> <p>13. Ground floor porches and similar entry features may encroach into the required front yard, provided the total horizontal dimensions of such elements may not exceed 25% of the length of the facade of the structure.</p> <p>14. Buildings exceeding 2 stories above average building elevation shall demonstrate compliance with the design regulations of Section 50.65 and the provisions of the Downtown Plan Chapter of the Comprehensive Plan. The City will use Process IIB to determine compliance.</p>												
Revised 4/03												

For other information about parking and parking areas, see Chapter 105.
 For details of the regulations in this category, see Chapter 100.
 For information of the regulations in this category, see Chapter 95.
 For details of what may exceed this height limit, see Chapter 115.
 For details regarding required yards, see Chapter 115.

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

USE	REGULATIONS	MINIMUMS				MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
		LOT SIZE	FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE				
Private Lodge or Club	<p>REQUIRED REVIEW PROCESS</p> <p>A-59-A Chapter 14B</p> <p>If structure exceeds 2 stories above average building elevation, then Process 11B, Chapter 152. Otherwise, ADR, Chapter 142</p>	None	20' See Special Reg. 2. A/D	0	0	80%	<p>80-foot above average building elevation. See Special Regulations 2 and 4, A-D.</p> <p>10'</p>	D See Special Reg. 7	B	See Section 105.25. See 60-61-1 of this Chapter.	<p>Zone CBD-5</p> <p>Section 50.30.f</p> <p>1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter.</p> <p>2. The minimum required yard abutting Peter Kirk Park is 10 feet. No setback is required adjacent to 6th Street between 21st Avenue and Kirkland Way, or adjacent to Kirkland Way between 6th Street and the intersection of Kirkland Way/Kirkland Avenue.</p> <p>3. No portion of a structure within 100 feet of Peter Kirk Park shall exceed 30-foot above average building elevation.</p> <p>4. No portion of a structure above the elevation of Kirkland Way as measured at the midpoint of the frontage of the subject property on Kirkland Way may exceed the following:</p> <p>a. Within 20 feet of Kirkland Way, 30 feet; <u>35 FEET</u></p> <p>b. Within 40 feet of Kirkland Way, 50 feet; <u>45 FEET</u></p> <p>c. Within 60 feet of Kirkland Way, 65 feet; <u>50 FEET</u></p> <p>d. Within 80 feet of Kirkland Way, 80 feet; <u>70 FEET</u></p> <p>5. If any portion of a structure is adjoining a low density zone, then either:</p> <p>a. The height of that portion of the structure shall not exceed 15 feet above average building elevation, or</p> <p>b. The horizontal length of any facade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in width.</p> <p>See the Section in Chapter 115 entitled "Distance Between Structures Regarding Maximum Horizontal Facade Requirement" for further details.</p> <p>6. The entire zone must be physically integrated both in site and building design. Also, site design must include installation of pedestrian linkages consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan, between public sidewalks and building entrances, and between walkways on the subject property and existing or planned walkways on abutting properties.</p> <p>7. Landscape Category C is required if the subject property is adjacent to 6th Street or Kirkland Avenue.</p> <p>8. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.</p> <p>9. Ground floor porches and similar entry features may encroach into the required front yard, provided the total horizontal dimensions of such elements may not exceed 25% of the length of the facade of the structure.</p>
ZC-CBD54-27-93										<p>Buildings exceeding 2 stories above average building elevation shall demonstrate compliance with the design regulations of Section 50.65 and the provisions of the Downtown Plan Chapter of the Comprehensive Plan. The City will use Process 11B to determine compliance.</p> <p>For details regarding required yards, see Chapter 115.</p>	

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

REGULATIONS	REVIEW PROCESS	LOT SIZE	MINIMUMS REQUIRED YARDS			MAXIMUMS	LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
			FRONT	SIDE	REAR					
Office Use	ADR Chapter 142 If structure exceeds 2 stories above average building elevation, then Process IIB, Chapter 152. Otherwise, ADR, Chapter 142	None	20' See Special Regulation 2. Asst. II	0	0	60% See Special Regulations 3 and 4, 142	D See Special Reg. D	D	One per each 350 sq. ft. of gross floor area. See Section 60 of this Chapter.	<p>Zone CBD-5</p> <p>Section 50.30.g</p> <p>SPECIAL REGULATIONS</p> <ol style="list-style-type: none"> The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. The minimum required yard abutting Peter Kirk Park is 10 feet. No setback is required adjacent to 4th Street between 4th Avenue and Kirkland Way, or adjacent to Kirkland Way between 4th Street and the intersection of Kirkland Way and Kirkland Avenue. <u>3-10-142</u> No portion of a structure within 100 feet of Peter Kirk Park shall exceed 60-feet-above average building elevation. No portion of a structure above the elevation of Kirkland Way as measured at the midpoint of the frontage of the subject property on Kirkland Way may exceed the following: <ol style="list-style-type: none"> Within 20 feet of Kirkland Way, 50 feet; <u>3-10-142</u> Within 40 feet of Kirkland Way, 52 feet; <u>1-10-142</u> Within 50 feet of Kirkland Way, 55 feet; <u>5-10-142</u> Within 60 feet of Kirkland Way, 60 feet; <u>5-10-142</u> If any portion of a structure is adjoining a low density zone, then either: <ol style="list-style-type: none"> The height of that portion of the structure shall not exceed 15 feet above average building elevation, or The horizontal length of any facade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in width. See the Section in Chapter 115 entitled "Distance Between Structures Regarding Maximum Horizontal Facade Regulation" for further details. Ancillary assembly and manufacture of goods on premises may be permitted as part of an office use <ol style="list-style-type: none"> The ancillary assembled or manufactured goods are subordinate to and dependent on this office use; and The outward appearance and impacts of this office use with ancillary assembly and manufacturing activities must be no different from other office uses. The following regulations apply to veterinary office only: <ol style="list-style-type: none"> May only treat small animals on the subject property. Outside runs and other outdoor facilities for the animals are not permitted. Site must be designed so that noise from this use will not be audible off the subject property. A certification to this effect, signed by an Acoustical Engineer, must be submitted with the A.D.R. and building permit applications. A veterinary office is not permitted if the subject property contains dwelling units.

ZC-CBD55-26-63

Revised 4/83



REGULATIONS CONCLUDED ON NEXT PAGE

For other information about parking and parking areas, see Chapter 105.
For details of the regulations in this category, see Chapter 100.
For information of the regulations in this category, see Chapter 95.
For details of what may exceed this height limit, see Chapter 115.
For details regarding required yards, see Chapter 115.

PAGE
98G

FOOTNOTES




USE ZONE CHART										
USE REGULATIONS	REQUIRED REVIEW PROCESS	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
		FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE				
LOT SIZE	FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE	LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS	
USE  REGULATIONS  Office Use (continued)									Zone CBD-5 Section 50.30.h	<p>8. The entire zone must be physically integrated both in site and building design. Also, site design must include installation of pedestrian linkages consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan, between public sidewalks and building entrances, and between walkways on the subject property and existing or planned walkways on abutting properties.</p> <p>9. Landscape Category C is required if subject property is adjacent to 6th Street or Kiriland Avenue.</p> <p>10. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.</p> <p>11. Ground floor porches and similar entry features may encroach into the required front yard, provided the total horizontal dimensions of such elements may not exceed 25% of the length of the facade of the structure.</p> <p>12. Buildings exceeding 2 stories above average building elevation shall demonstrate compliance with the design regulations of Section 50.65 and the provisions of the Downtown Plan Chapter of the Comprehensive Plan. The City will use Process IIB to determine compliance.</p>
ZC-CBD546-1-93									Revised 4/93	

For other information about parking and parking areas, see Chapter 105.
 For details of the regulations in this category, see Chapter 100.
 For information of the regulations in this category, see Chapter 95.
 For details of what may exceed this height limit, see Chapter 115.
 For details regarding required yards, see Chapter 115.

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

REGULATIONS	REVIEW PROCESS	LOT SIZE	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
			FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE				
<p>USE </p> <p>Church</p>	<p>ADR Chapter 142 If structure exceeds 2 stories above average building elevation, then Process IIB, Chapter 152. Otherwise, ADR, Chapter 142</p>	None	<p>20' See Special Regulation 2. Auto</p>	<p>0</p>	<p>0</p>	<p>80% 3-5 stories</p>	<p>88-feet above average building elevation. See Special Regulations 3 and 4, ADR.</p>	<p>0 See Special Reg. 8</p>	<p>B</p>	<p>One per every four people based on maximum occupancy load of any area of worship. See Spec. Reg. 7. See Section 60 of this Chapter.</p>	<p>Zone CBD-5</p> <p>Section 50.30.i</p> <p>1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter.</p> <p>2. The minimum required yard abutting Peter Kirk Park is 10 feet. No setback is required adjacent to 6th Street between 4th Avenue and Kirkland Way, or adjacent to Kirkland Way between 8th Street and the intersection of Kirkland Way and Kirkland Avenue.</p> <p>3. No portion of a structure within 100 feet of Peter Kirk Park shall exceed 30-feet above average building elevation.</p> <p>4. No portion of a structure above the elevation of Kirkland Way as measured at the midpoint of the frontage of the subject property on Kirkland Way may exceed the following: a. Within 20 feet of Kirkland Way, 30 feet; 3-10-15 b. Within 40 feet of Kirkland Way, 52 feet; 4-10-15 c. Within 50 feet of Kirkland Way, 55 feet; 5-10-15 d. Within 60 feet of Kirkland Way, 58 feet; 5-10-15</p> <p>5. If any portion of a structure is adjoining a low density zone, then either: a. The height of that portion of the structure shall not exceed 15 feet above average building elevation, or b. The horizontal length of any facade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in width. See the Section in Chapter 115 entitled "Distance Between Structures Regarding Maximum Horizontal Facade Regulation" for further details.</p> <p>6. The entire zone must be physically integrated both in site and building design. Also, site design must include installation of pedestrian linkages consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan, between public sidewalks and building entrances, and between walkways on the subject property and existing or planned walkways on abutting properties.</p> <p>7. No parking is required for daycare or school ancillary to the use.</p> <p>8. Landscape Category C is required if subject property is adjacent to 6th Street or Kirkland Avenue.</p> <p>9. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.</p> <p>10. Ground floor porches and similar entry features may encroach into the required front yard, provided the total horizontal dimensions of such elements may not exceed 25% of the length of the facade of the structure.</p>

Buildings exceeding 2 stories above average building elevation shall demonstrate compliance with the design regulations of Section 50.65 and the provisions of the Downtown Plan Chapter of the Comprehensive Plan. 981
The City will use Process IIB to determine compliance.

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

USE REGULATIONS	REQUIRED REVIEW PROCESS	LOT SIZE	MINIMUMS REQUIRED YARDS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
			FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE				
School, Daycare Center, or Mini School or Daycare Center	A-D-R Chapter 142 If structure exceeds 2 stories above average building elevation, then Process IIB, Chapter 152, Otherwise, ADR, Chapter 142	None	20' See Special Regulation 2, A & D, 12'	0	0	80% 1/2	40-foot above average building elevation. See Special Regulations 3 and 4, A & D, H	D	B	See Section 105.25. See Section 99 of this Chapter.	<p>Zone CBD-5</p> <p>Section 50.30.j</p> <p>SPECIAL REGULATIONS</p> <ol style="list-style-type: none"> The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. The minimum required yard abutting Peter Kirk Park is 10 feet. No setback is required adjacent to 6th Street between 4th Avenue and Kirkland Way, or adjacent to Kirkland Way between 6th Street and the intersection of Kirkland Way and Kirkland Avenue. <ul style="list-style-type: none"> a. Within 20 feet of Kirkland Way, 30-foot; 3-50-10-10 b. Within 40 feet of Kirkland Way, 62-foot; 4-50-10-10 c. Within 50 feet of Kirkland Way, 65-foot; 5-50-10-10 d. Within 60 feet of Kirkland Way, 65-foot. No portion of a structure within 100 feet of Peter Kirk Park shall exceed 30-foot above average building elevation. No portion of a structure above the elevation of Kirkland Way, as measured at the midpoint of the frontage of the subject property on Kirkland Way, may exceed the following: <ul style="list-style-type: none"> a. Within 20 feet of Kirkland Way, 30-foot; 3-50-10-10 b. Within 40 feet of Kirkland Way, 62-foot; 4-50-10-10 c. Within 50 feet of Kirkland Way, 65-foot; 5-50-10-10 d. Within 60 feet of Kirkland Way, 65-foot. If any portion of a structure is adjoining a low density zone, then either: <ul style="list-style-type: none"> a. The height of that portion of the structure shall not exceed 15 feet above average building elevation, or b. The horizontal length of any facade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in width. See the Section in Chapter 115 entitled "Distance Between Structures Regarding Maximum Horizontal Facade Regulations" for further details. The entire zone must be physically integrated both in site and building design. Also, site design must include installation of pedestrian linkages consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan, between public sidewalks and building entrances, and between walkways on the subject property and existing or planned walkways on abutting properties. A six-foot-high fence is required along all property lines adjacent to outside play areas. Structured play areas must be set back from all property lines by at least five feet. Hours of operation may be limited by the City to reduce impacts on nearby residential uses. An on-site passenger loading area may be required depending on the number of attendees and the extent of the abutting right-of-way improvements.

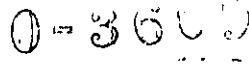
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REGULATIONS CONCLUDED ON NEXT PAGE

Revised 4/80



For other information about parking and parking areas, see Chapter 105.
 For details of the regulations in this category, see Chapter 100.
 For information of the regulations in this category, see Chapter 95.
 For details of what may exceed this height limit, see Chapter 115.
 For details regarding required yards, see Chapter 115.

FOOTNOTES



USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

REGULATIONS	REVIEW PROCESS	LOT SIZE	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	PARKING SPACES	Section 50.30.K	Zone CBD-5
			FRONT	SIDE	REAR	HEIGHT OF STRUCTURE	LOT COVERAGE					
USE   School, Daycare Center, or Mini School or Daycare Center (continued)												
SPECIAL REGULATIONS												
11. These uses are subject to the requirements established by the Department of Social and Health Services (WAC 368-73, 368-150, and 368-155).												
12. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.												
13. Ground floor porches and similar entry features may encroach into the required front yard, provided the total horizontal dimensions of such elements may not exceed 25% of the length of the facade of the structure.												
14. Buildings exceeding 2 stories above average building elevation shall demonstrate compliance with the design regulations of Section 50.65 and the provisions of the Downtown Plan Chapter of the Comprehensive Plan. The City will use Process 11B to determine compliance.												

Revised 4/83

For other information about parking and parking areas, see Chapter 105.
 For details of the regulations in this category, see Chapter 100.
 For information of the regulations in this category, see Chapter 95.
 For details of what may exceed this height limit, see Chapter 115.
 For details regarding required yards, see Chapter 115.

ZC-CBD5K4-27-93

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

REGULATIONS	REVIEW PROCESS	MINIMUMS				MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED SPACES	SPECIAL REGULATIONS
		LOT SIZE	REQUIRED YARDS			LOT COVERAGE	HEIGHT OF STRUCTURE				
			FRONT	SIDE	REAR						
USE Stacked or Attached Dwelling Units - 5 BE ⁴ ₁ ¹ ₁ Reg. 9	ADR - Chapter 142 - If structure exceeds 2 stories above average building elevation, then Process IIB, Chapter 152. Otherwise, ADR, Chapter 142	None	20' See Special Regulation 2 <u>10'</u>	0 See Special Regulation 2 <u>3-5'</u>	0 See Special Regulation 2 <u>3-5'</u>	80% <u>50%</u>	60-foot above average building elevation. See Special Regulations 3 and 4, <u>and</u> (1).	D See Special Reg. 7	A	1.7 per unit. See Section 69 of this Chapter.	Zone CBD-5 Section 50.30.1

SPECIAL REGULATIONS

- The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter.
- The minimum required yard abutting Peter Kirk Park is 10 feet. No setback is required adjacent to 4th Street between 4th Avenue and Kirkland Way, or adjacent to Kirkland Way between 6th Street and the intersection of Kirkland Way/Kirkland Avenue.
 3-5' to Peter Kirk Park
- No portion of a structure within 100 feet of Peter Kirk Park shall exceed 30-foot above average building elevation.
 3-5' to Peter Kirk Park
- No portion of a structure above the elevation of Kirkland Way as measured at the midpoint of the frontage of the subject property on Kirkland Way may exceed the following:
 - Within 20 feet of Kirkland Way, 60-foot; 3-5' to Peter Kirk Park
 - Within 40 feet of Kirkland Way, 55-foot; 4-5' to Peter Kirk Park
 - Within 50 feet of Kirkland Way, 45-foot; 5-5' to Peter Kirk Park
 - Within 60 feet of Kirkland Way, 30-foot; 5-5' to Peter Kirk Park
- If any portion of a structure is adjoining a low density zone, then either:
 - The height of that portion of the structure shall not exceed 15 feet above average building elevation, or
 - The horizontal length of any facade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in width.
 See the Section in Chapter 115 entitled "Distance Between Structures Regarding Maximum Horizontal Facade Regulation" for further details.
- The entire zone must be physically integrated both in site and building design. Also, site design must include installation of pedestrian linkages contained with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan, between public sidewalks and building entrances, and between walkways on the subject property and existing or planned walkways on abutting properties.
- Landscape Category C is required if the subject property is adjacent to 6th Street or Kirkland Avenue.
- Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.

9. This use only allowed on properties with frontage on Second Avenue

10. Ground floor porches and similar entry features may encroach into the required front yard, provided the total horizontal dimensions of such elements may not exceed 25% of the length of the facade of the structure.

11. Buildings exceeding 2 stories above average building elevation shall demonstrate compliance with the design regulations of Section 50.65 and the provisions of the Downtown Plan Chapter of the Comprehensive Plan.
 The City will use Process IIB to determine compliance.

USE REGULATIONS	DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS										USE ZONE CHART			Zone CBD-5	Section 50.30.m
	REQUIRED REVIEW PROCESS	LOT SIZE	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS				
			FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE								
Public Utility, Government Facility, or Community Facility If structure exceeds 2 stories above average building elevation, then Process IIB, Chapter 152. Otherwise, ADR, Chapter 142	ADR, Chapter 142 None	None	20'	0	0	80%	60 feet above average building elevation. See Special Regulations 3 and 4. <u>10</u>	D See Special Reg. 8	B	See Section 105.25. See Section 80 of this Chapter.	1. The development of the subject property and adjacent rights-of-way must be consistent with the regulation of Section 65 of this Chapter. 2. The minimum required yard abutting Peter Kirk Park is 10 feet. No setback is required adjacent to 6th Street between 4th Avenue and Kirkland Way, or adjacent to Kirkland Way between 6th Street and the intersection of Kirkland Way/Kirkland Avenue. 3. No portion of a structure within 100 feet of Peter Kirk Park shall exceed 60 feet <u>3 stories</u> above average building elevation. 4. No portion of a structure above the elevation of Kirkland Way as measured at the midpoint of the frontage of the subject property on Kirkland Way may exceed the following: a. Within 20 feet of Kirkland Way, 89 feet <u>3 stories</u> b. Within 40 feet of Kirkland Way, 62 feet <u>4 stories</u> c. Within 50 feet of Kirkland Way, 65 feet <u>5 stories</u> d. Within 60 feet of Kirkland Way, 60 feet 5. If any portion of a structure is adjoining a low density zone, then either: a. The height of that portion of the structure shall not exceed 15 feet above average building elevation, or b. The horizontal length of any facade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in width. See the Section in Chapter 115 entitled "Distance Between Structures Regarding Maximum Horizontal Facade Regulation" for further details. 6. Landscape Category C is required if the subject property is adjacent to 6th Street or Kirkland Avenue. Landscape Category A or B may be required depending on the type of use on the subject property and the impacts associated with the use on nearby uses. 7. Site design must include installation of pedestrian linkages consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan, between public sidewalks and building entrances, and between walkways on the subject property and existing or planned walkways on abutting properties. 8. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. 9. <u>Ground floor porches and similar entry features may encroach into the required front yard, provided the total horizontal dimensions of such elements may not exceed 25% of the length of the facade of the structure.</u>				
ZCCBD5/4-30-93							<u>10</u>				Buildings exceeding 2 stories above average building elevation shall demonstrate compliance with the design regulations of Section 50.65 and the provisions of the Downtown Plan Chapter of the Comprehensive Plan. The City will use Process IIB to determine compliance. For details regarding required yards, see Chapter 115.	Revised 4/93 PAGE 98M			

FOOTNOTES

1
2
3
4
5

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

USE REGULATIONS	REQUIRED REVIEW PROCESS	LOT SIZE	MINIMUMS REQUIRED YARDS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
			FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE				
Public Transit Shelter	None	None	0	0	0	100%	15 feet above average building elevation.	--	See Spec. Reg. 3	None	<p>Zone CBD-5</p> <p>Section 50.30.n</p> <p>SPECIAL REGULATIONS</p> <ol style="list-style-type: none"> May be permitted only if it will not unreasonably impede pedestrian movement or create traffic safety problems. Site and building design must include installation of pedestrian linkages consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan. May install transit route and information signs and markers.
Public Park	A.D.R. Chapter 142 If structure exceeds 2 stories above average building elevation, then Process IIB, Chapter 152. Otherwise, A.D.R. Chapter 142	None	Will be determined by case/basis	3.5	50	100%	80 feet above average building elevation. See Special Regulation 2. A.D. 62	--	B	See Section 105.25. See Section 60-Chapter 115-Chapter	<ol style="list-style-type: none"> The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. No portion of a structure above the elevation of Kirkland Way as measured at the midpoint of the frontage of the subject property on Kirkland Way may exceed the following: <ol style="list-style-type: none"> Within 20 feet of Kirkland Way, 89 feet; 75 40 85 22 Within 40 feet of Kirkland Way, 52 feet; 4 10 12 22 Within 50 feet of Kirkland Way, 46 feet; 5 10 12 22 Within 60 feet of Kirkland Way, 38 feet. If any portion of a structure is adjoining a low density zone, then either: <ol style="list-style-type: none"> The height of that portion of the structure shall not exceed 15 feet above average building elevation, or The horizontal length of any facade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in width. See the Section in Chapter 115 entitled "Distance Between Structures Regarding Maximum Horizontal Facade Regulation" for further details. Site and building design must include installation of pedestrian linkages consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.

Buildings exceeding 2 stories above average building elevation shall demonstrate compliance with the design regulations of Section 50.65 and the provisions of the Downtown Plan Chapter of the Comprehensive Plan. PAGE 98N

The City will use Process IIB to determine compliance.



For details regarding required yards, see Chapter 115.

Revised 4/80

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

USE REGULATIONS

USE  

Zone
CBD-6

Section
50.35.a

SPECIAL REGULATIONS

- The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter.
- These uses are only permitted south of Sixth Avenue. Subterranean parking for these uses may be located north of 6th Avenue provided that the parking structures are not visible from 7th Avenue or 5th Street north of 6th Avenue.
- The entire zone must be physically integrated both in site and building design. In addition, the design and development of the subject property must provide pedestrian linkages through this zone and between Central Way and access to the north of this zone, consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan.
- A part of the development approval, the City may permit a decrease or require an increase in setbacks. The development shall provide significant openness adjacent to Sixth Street and building form shall be articulated and terraced up from the east and south portions of the site. The tallest building forms shall be grouped towards the center of the subject property with lower components towards the perimeter of the subject property.
- vehicular access for these uses and components of these uses, including subterranean parking, must be on Central Way or Fifth or Sixth Streets south of Sixth Avenue. The applicant may be required to install traffic diverters or employ other mechanisms to direct non-residential traffic associated with subject property away from areas north of Sixth Avenue.
- The City may require that areas of the northeastern and southeastern portions of the subject property be developed with pedestrian scale amenities and landscaping to enhance the entryway into the Central Business District.
- Access for drive-through facilities must be approved by the Public Works Department.
- Landscaping Category C is required if the subject property is located adjacent to the RS 5.0, or Planned Areas 7B or 7C zones.
- Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.

10. The required front yard for this use shall be 0' from Central Way for one or two stories. No parking may encroach into the required 20' front yard.

REQUIRED REVIEW PROCESS	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES
	FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE			
None	20'	10'	10'	80%	75-feet-above average building elevation. See also Special Regulation 4.	D See Special Reg. 6	E	One per each 125 sq. ft. of gross floor area. See Section 60-4115 Chapter:
None	20'	10'	10'	80%	75-feet-above average building elevation. See also Special Regulation 4.	D See Special Reg. 6	E	One per each 100 sq. ft. of gross floor area. See Section 60-4115 Chapter:

Revised 11/1/94, C-3436

For other information about parking and parking areas, see Chapter 105. For details of the regulations in this category, see Chapter 100. For information of the regulations in this category, see Chapter 95. For details of what may exceed this height limit, see Chapter 115. For details regarding required yards, see Chapter 115.

FOOTNOTES



PAGE
99A

ZC-5035A/1-19-95

USE REGULATIONS	DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS										USE ZONE CHART	
	REQUIRED REVIEW PROCESS	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SRGN CATEGORY	REQUIRED PARKING SPACES	Zone	Section	
		LOT SIZE	REQUIRED YARDS			LOT COVERAGE				HEIGHT OF STRUCTURE	CBD-6	50.35.b
		FRONT	SIDE	REAR					SPECIAL REGULATIONS			
<p>Any Retail Establishment, other than those specifically listed, limited or prohibited in this Zone, selling goods or providing services, including banking and related financial services. See Special Regulation 2 and 3.</p> <p>Hotel or Motel. See Special Regulation 2.</p> <p>Entertainment, Cultural and/or Recreational Facility. See Special Regulation 2.</p>	<p>If the structure exceeds 65' above average building elevation, then Process BA, Chapter 156, and A.D.R. Chapter 142.</p> <p>Otherwise, A.D.R. Chapter 142.</p>	None	20' AND	10' 14	10' 4 ft	80% 80%	78 feet above average building elevation. See also Special Regulation 4.	<p>D See Special Reg. 11</p> <p>D See Special Reg. 11</p> <p>D See Spec. Reg. 11</p>	<p>E</p> <p>E</p> <p>E</p>	<p>One per each 350 sq. ft. of gross floor area. See Section 60 of this Chapter.</p> <p>One for each room. See Spec. Reg. 12. See Section 60 of this Chapter.</p> <p>See Section 105.25 and Section 60 of this Chapter.</p>	<ol style="list-style-type: none"> The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. These uses are only permitted south of 86th Avenue. Subterranean parking for these uses may be located north of 8th Avenue provided that the parking structures are not visible from 7th Avenue or 5th Street north of 8th Avenue. Vehicle and/or boat sale, repair, service, and rental are not permitted in this zone. As part of the development approval, the City may permit a decrease or require an increase in setbacks. The development shall provide significant openness adjacent to 86th Street and building form shall be modulated and terraced up from the east and south portions of the site. The tallest building forms shall be grouped towards the center of the subject property with lower components towards the perimeter of the subject property. The entire zone must be physically integrated both in site and building design. In addition, the design and development of the subject property must provide pedestrian linkage through this zone and between Central Way and areas to the north of this zone, consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan. Vehicular access for these uses and components of these uses, including subterranean parking, must be on Central Way or 5th or 86th Streets south of 86th Avenue. The applicant may be required to install traffic diverters or employ other mechanisms to direct non-residential traffic associated with subject property away from areas north of 86th Avenue. The City may require that areas of the northeastern and southeastern portions of the subject property be developed with pedestrian scale amenities and landscaping to enhance the entryway into the Central Business District. Ancillary assembly and manufacture of goods on premise may be permitted as part of a retail establishment if: <ol style="list-style-type: none"> The assembled or manufactured goods are directly related to and dependent upon this use, and are available for purchase and removal from the premises. The outward appearance and impacts of this use with ancillary assembly or manufacturing activities must be no different from other retail uses. A use involving the preparation and consumption of food may include, as part of the use, accessory seating if: <ol style="list-style-type: none"> The seating and associated circulation area does not exceed more than 10% of the gross floor area of this use; and 	
ZC-5035A/12-27-04	REGULATIONS CONTINUED ON NEXT PAGE										Revised 11/1/94, O-3430	
<p>For other information about parking and parking areas, see Chapter 105. For details of the regulations in this category, see Chapter 100. For information of the regulations in this category, see Chapter 95. For details of what may exceed this height limit, see Chapter 115. For details regarding required yards, see Chapter 115.</p>										<p>PAGE</p> <p>99B</p>		

FOOTNOTES

1
2
3
4
5

USE ZONE CHART										
REGULATIONS	REVIEW PROCESS	LOT SIZE	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES
			FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE			
<p>USE </p> <p>REGULATIONS </p> <p>Any Retail Establishment, other than those specifically listed, limited or prohibited in this Zone, selling goods or providing services, including banking and related financial services. See Special Regulation 2 and 3. Hotel or Motel. See Special Regulation 2. (continued) Entertainment, Cultural and/or Recreational Facility. See Special Regulation 2. (continued)</p>										
<p>Zone CBD-6 Section 50.35.c</p> <p>SPECIAL REGULATIONS</p> <p>9. b. It can be demonstrated to the City that the floor plan is designed to preclude the sealing area from being expanded.</p> <p>10. Access for drive-through facilities must be approved by the Public Works Department.</p> <p>11. Landscape Category C is required if the subject property is located adjacent to the RS 5.0, or Planned Areas 7B or 7C zones.</p> <p>12. The parking requirement for hotel or motel use does not include parking requirements for ancillary meetings and convention facilities. Additional parking requirements for ancillary uses shall be determined on a case-by-case basis.</p> <p>13. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.</p> <p>14. <u>The required front yard for this use shall be 0' from Central Way for one or two stories. No parking may encroach into the required 20' front yard.</u></p>										
<p>REVIEW PROCESS</p>										
<p>LOT SIZE</p>										
<p>FRONT</p>										
<p>SIDE</p>										
<p>REAR</p>										
<p>LOT COVERAGE</p>										
<p>HEIGHT OF STRUCTURE</p>										
<p>LANDSCAPE CATEGORY</p>										
<p>SIGN CATEGORY</p>										
<p>REQUIRED PARKING SPACES</p>										
<p>Revised 11/1/94, O-3436</p>										<p>PAGE 99C</p>
<p>FOOTNOTES</p> <p>For other information about parking and parking areas, see Chapter 105. For details of the regulations in this category, see Chapter 100. For information of the regulations in this category, see Chapter 95. For details of what may exceed this height limit, see Chapter 115. For details regarding required yards, see Chapter 115.</p>										

ZC-5035C/12-27-94

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

USE REGULATIONS	REVIEW PROCESS	MINIMUMS REQUIRED YARDS				MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
		FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE	LOT COVERAGE				
<p>Office Use See Special Regulation 2</p> <p>Private Club or Lodge See Special Regulation 2</p>	<p>If the structure exceeds 66'-0" above average building elevation, then process thru Chapter 142 and A.D.R. Chapter 142.</p> <p>Otherwise, A.D.R. Chapter 142.</p>	20'	10'	10'	60%	70 feet above average building elevation. See also Special Regulation 4.	D See Special Reg. 9	D	1 per each 350 sq. ft. of gross floor area. See Section 60-11 of this Chapter.	<p>1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 85 of this Chapter.</p> <p>2. These uses are only permitted south of Sixth Avenue. Subterranean parking for these uses may be located north of 6th Avenue provided that the parking structures are not visible from 7th Avenue or 6th Street north of 6th Avenue.</p> <p>3. Veterinary offices are not permitted in this zone.</p> <p>4. As part of the development approval, the City may permit a decrease or require an increase in setbacks. The development shall provide significant openness adjacent to Sixth Street and building form shall be modernized and oriented up from the east end south portions of the site. The tallest building forms shall be grouped towards the center of the subject property with lower structures towards the perimeter of the subject property.</p> <p>5. The entire zone must be physically integrated both in site and building design. In addition, the design and development of the subject property must provide pedestrian linkage through this zone and between Central Way and areas to the north of this zone, consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan.</p> <p>6. Vehicular access for this use and components of this use, including subterranean parking, must be on Central Way or Fifth or Sixth Streets south of Sixth Avenue. The applicant may be required to install traffic diverters or employ other mechanisms to direct non-residential traffic associated with subject property away from areas north of Sixth Avenue.</p> <p>7. The City may require that areas of the northeastern and southeastern portions of the subject property be developed with pedestrian scale amenities and landscaping to enhance the entryway into the Central Business District.</p> <p>8. Ancillary assembly and manufacture of goods on premise may be permitted as part of an office use.</p> <p>9. The ancillary assembled or manufactured goods are subordinate to and dependent on this office use; and</p> <p>10. The outward appearance and impacts of this office use with ancillary assembly and manufacturing activities must be no different from other office uses.</p> <p>11. Landscape Category C is required if the subject property is located adjacent to the RS 5.0, or Planned Areas 7B or 7C zones.</p> <p>12. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.</p>	

Zone
CBD-6

Section
50.35.d

Ground floor porches and similar entry features may encroach into the required front yard, provided the total horizontal dimensions of such elements may not exceed 25% of the length of the facade of the structure.

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

USE REGULATIONS

Stacked, or Attached Dwelling Units
See Special Regulation 2

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Section
50.35.0

Zone
CBD-6

SPECIAL REGULATIONS

1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 05 of this Chapter.
ALSO See Section 05 of this Chapter
2. South of Sixth Avenue, this use is only permitted above the ground floor.
3. For any portion of a structure on the subject property within 40 feet of Seventh Avenue or Fifth Street north of Sixth Avenue that does not exceed 30 feet in height above average building elevation, the minimum required side yards are 5 feet but 2 side yards must equal at least 15 feet.
4. As part of the development approval, the City may permit a decrease or require an increase in setback. The development shall provide significant openness adjacent to Sixth Street and building setbacks shall be established and increased up from the east and south portions of the site. The tallest building forms shall be grouped towards the center of the subject property, with lower components towards the perimeter of the subject property.
5. No portion of a structure on the subject property within 40 feet of Seventh Avenue may exceed 25 feet above the elevation of Seventh Avenue as measured at the midpoint of the frontage of the subject property on Seventh Avenue. No portion of a structure on the subject property within 40 feet of Fifth Street north of Sixth Avenue may exceed 30 feet above the elevation of Fifth Street, as measured at the midpoint of the frontage of the subject property on Fifth Street.
6. The entire zone must be physically integrated both in site and building design. In addition, the design and development of the subject property must provide pedestrian linkage through this zone and between Central Way and areas to the north of this zone, consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan.
7. The City may require that areas of the northeastern and southeastern portions of the subject property be developed with pedestrian scale amenities and landscaping to enhance the entryway into the Central Business District.
8. Landscape Category C is required if the subject property is located adjacent to the RS 5.0, or Planned Areas 7B or 7C zones.
9. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.
10. Ground floor porches and similar entry features may encroach into the required front yard, provided the total horizontal dimensions of such elements may not exceed 25% of the length of the facade of the structure.

MINIMUMS		MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED SPACES
FRONT	SIDE	REAR	HEIGHT OF STRUCTURE			
20' See Special Regulation 2 3 feet ADA 10'	10'	10'	75 feet above average building elevation. See also Special Regulations 4 and 5.	D See Special Reg. 8	A	1:7 per unit See Section 05 of this Chapter

REQUIRED REVIEW PROCESS	LOT SIZE	REQUIRED YARDS	LOT COVERAGE	HEIGHT OF STRUCTURE
If the structure exceeds 30 feet above average building elevation, then Process DC, Chapter 150, and A.D.R. Chapter 142. Otherwise, A.D.R. Chapter 142.	None	FRONT: 20' SIDE: 10' REAR: 10'	80%	75 feet above average building elevation. See also Special Regulations 4 and 5.

Along Seventh Avenue, buildings shall be designed with predominantly sloped roof forms.


Within 40' of Seventh Avenue, the maximum length of any facade is 50' and a minimum 50% of this area shall be open space.

FOOTNOTES

ZC-5035E/1-19-05

USE ZONE CHART

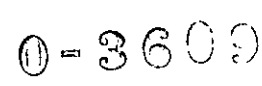
DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS.

USE REGULATIONS	REVIEW PROCESS	MINIMUMS REQUIRED YARDS			MAXIMUMS	LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
		FRONT	SIDE	REAR					
School, Day-care, or Mini-School or Day-care Center 	Other structure exceeds 65' above average building elevation then Processed Chapter 166 and A.D.R. Chapter 142 Other A.B.R. Chapter 142	20' See Special Regulations 2 and 4 14	10' See Special Regulations A-7D 14	10' 4-10-16	80% 5	70 feet above average building elevation. See also Special Regulations 2 and 4	D See Special Reg. 7	B See Section 105.25. See Section 60 of this Chapter.	Zone CBD-6 Section 50.35.1 SPECIAL REGULATIONS 1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. 2. As part of the development approval, the City may permit a decrease or require an increase in setbacks. The development shall provide significant openness adjacent to Sixth Street and building forms shall be mediated and terraced up from the east and south portions of the site. The tallest building forms shall be grouped towards the center of the subject property with lower components towards the perimeter of the subject property. 3. For any portion of a structure on the subject property within 40 feet of Seventh Avenue of Fifth Street north of Sixth Avenue that does not exceed 30 feet above average building elevation, the minimum required side yards are five feet but two side yards must equal at least 15 feet. 4. No portion of a structure on the subject property within 40 feet of Seventh Avenue may exceed 25 feet above the elevation of Seventh Avenue as measured at the midpoint of the frontage of the subject property on Seventh Avenue. No portion of a structure on the subject property within 40 feet of Fifth Street north of Sixth Avenue may exceed 30 feet above the elevation of Fifth Street as measured at the midpoint of the frontage of the subject property on Fifth Street. 5. The entire zone must be physically integrated both in site and building design. In addition, the design and development of the subject property must provide pedestrian linkage through this zone and between Central Way and Areas to the north of this zone, consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan. 6. The City may require that areas of the northeastern and southeastern portions of the subject property be developed with pedestrian scale amenities and landscaping to enhance the entryway into the Central Business District. 7. Landscape Category C is required if the subject property is located adjacent to the RS 5.0, or Planned Areas 7B or 7C zones. 8. A six-foot high fence is required along all property lines adjacent to outside play areas. 9. Structured play areas must be set back from all property lines by at least five feet. 10. Hours of operation may be limited by the City to reduce impacts on nearby residential uses. 11. An on-site passenger loading area may be required depending on the number of attendees and the extent of the abutting right-of-way improvements. 12. These uses are subject to the requirements established by the Department of Social and Health Services (WAC 388-73, 388-150, and 388-165). 13. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. Revised 11/7/04, O-3438

Ground floor porches and similar entry features may encroach into the required front yard, provided the total horizontal dimensions of such elements may not exceed 25% of the length of the facade of the structure.

FOOTNOTES

For details regarding required yards, see Chapter 115.





DIRECTIONS: FIRST, read down to find use... THEN, access for REGULATIONS

USE ZONE CHART

Zone	Section
CBD-6	50.35.g

SPECIAL REGULATIONS:

1. The development of the subject property and adjacent right-of-way must be consistent with the regulations of Section 65 of this Chapter.
2. As part of the development approval, the City may require a decrease or require an increase in setbacks. The development shall provide significant open space adjacent to Sixth Street, and building form shall be modulated and varied up from the east and south portions of the site. The following building forms shall be grouped towards the center of the subject property with lower components towards the perimeter of the subject property.
3. For any portion of a structure on the subject property within 40 feet of Seventh Avenue or Fifth Street north of Sixth Avenue that does not exceed 30 feet above average building elevation, the minimum required side yards are 5 feet, but 2 side yards must equal at least 15 feet.
4. No portion of a structure on the subject property within 40 feet of Seventh Avenue may exceed 25 feet above the elevation of Seventh Avenue as measured at the midpoint of the frontage of the subject property on Seventh Avenue. No portion of a structure on the subject property within 40 feet of Fifth Street north of Sixth Avenue may exceed 30 feet above the elevation of Fifth Street as measured at the midpoint of the frontage of the subject property on Fifth Street.
5. The entire zone must be physically integrated both in site and building design. In addition, the design and development of the subject property must provide pedestrian linkage through this zone and between Central Way and area to the north of this zone, consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan.
6. The City may require that areas of the northeastern and southeastern portions of the subject property be developed with pedestrian scale amenities and landscaping to enhance the entryway into the Central Business District.
7. Landscape Category C is required if the subject property is located adjacent to the RS 6.0, or Planned Areas 7B or 7C zones.
8. Landscape Category A or B may be required depending on the type of use on the subject property and the impacts associated with the use on nearby uses.
9. No parking is required for daycare or school ancillary to the church use.
10. Refer to Chapter 1 to determine what other provisions of the Code may apply to the subject property.

Church	REQUIRED REVIEW PROCESS	MINIMUMS			LOT COVERAGE	HEIGHT OF STRUCTURE	LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES
		LOT SIZE	FRONT	SIDE					
Public Utility, Government Facility, or Community Facility	None	20'	10'	10'	80%	26-foot above average building elevation. See also Special Regulations 2 and 4.	D See Special Reg. 7	B	See Section 105.25.
Public Park	None	See Special Regulations 2 and 4.	10'	10'	80%	26-foot above average building elevation. See also Special Regulations 2 and 4.	D See Special Regs 7 and 8	B	See Section 105.25.
ZC-5035F/12-27-94	None	See Special Regulations 2 and 4.	10'	10'	80%	26-foot above average building elevation. See also Special Regulations 2 and 4.	D See Special Regs 7 and 8	B	See Section 105.25.

FOOTNOTES

Will be determined on a case-by-case basis.

For details of the regulations in this category, see Chapter 100.
For information of the regulations in this category, see Chapter 95.
For details of what may exceed the height limit, see Chapter 115.
For details regarding required yards, see Chapter 115.

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

REGULATIONS	MINIMUMS				MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
	REVIEW PROCESS	LOT SIZE	REQUIRED YARDS			LOT COVERAGE				
USE	FRONT	SIDE	REAR	REAR	REAR	REAR	REAR	REAR	REAR	REAR
Public Transit Shelter	0	0	0	0	100%	15 feet above average building elevation.	-	See Spec. Reg. 2	None	1. May be permitted only if it will not unreasonably impede pedestrian movement or create traffic safety problems. 2. May install transit route and information signs and markers.
Section 50.35.h										
Zone CBD-6										

Revised 11/1/84, O-3436

PAGE
99H

For other information about parking and parking areas, see Chapter 105.
For details of the regulations in this category, see Chapter 100.
For information of the regulations in this category, see Chapter 85.
For details of what may exceed this height limit, see Chapter 115.
For details regarding required yards, see Chapter 116.



FOOTNOTES

ZC-5035H/12-27-94



USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS



REGULATIONS	MINIMUMS				MAXIMUMS	LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS	
	LOT SIZE	REQUIRED YARDS								HEIGHT OF STRUCTURE
		FRONT	SIDE	REAR						
USE  REGULATIONS 	Zone CBD-7	Section 50.40.a								
Vehicle Service Station A.D.R. Chapter 142	22,500 sq. ft.	20' See Spec. Fig. 3	15' See Spec. Fig. 3	15' See Spec. Fig. 3	80% STAIRS	30-feet above average building elevation.	B See Special Reg. 5	E See Section 105.25. See Section 67 of this Chapter.	1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. 2. May not be more than two vehicle service stations at any intersection. 3. Gas pump islands must be setback at least 20 feet from all property lines. Canopies and covers over gas pump islands may not be more than 10 feet to any property line. Outdoor parking and service areas may not be closer than 10 feet to any property line. See the section in Chapter 115 entitled "Outdoor Use, Activity, and Storage" for further regulations. 4. Site design must include installation of pedestrian linkages between public sidewalks and building entrances and between walkways on the subject property and existing or planned walkways on existing properties consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan. 5. Landscape Category A is required if the subject property is adjacent to Planned Area 78. 6. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.	
Restaurant or Tavern A.D.R. Chapter 142	None	20' See Spec. AND C	0 See Spec. Fig. 2	0	80% STAIRS	30-feet above average building elevation.	D See Special Reg. 4	E 1 per each 125 sq. ft. of gross floor area. See Section 67 of this Chapter.	1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. 2. No setback is required adjacent to Third Street. 3. Site design must include installation of pedestrian linkages between public sidewalks and building entrances and between walkways on the subject property and existing or planned walkways on existing properties consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan. 4. Landscape Category B is required if the subject property is adjacent to Planned Area 78. 5. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.	
ZC-CBD7A12-27-04									6. The required front yard for this use shall be 0' for one story at street level. No parking may encroach into the required 20' front yard.	

Revised 11/17/04, O-3436

For other information about parking and parking area, see Chapter 105.
 For details of the regulations in this category, see Chapter 100.
 For information of the regulations in this category, see Chapter 65.
 For details of what may exceed the height limit, see Chapter 115.
 For details regarding required yards, see Chapter 115.

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

REGULATIONS	REQUIRED REVIEW PROCESS	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS	
		LOT SIZE	REQUIRED YARDS		LOT COVERAGE	HEIGHT OF STRUCTURE					
			FRONT	SIDE							REAR
USE  Fast Food Restaurant 	A.D.R. Chapter 142	None	20' See Spec. A-10	0 Spec. B-1	0 Spec. B-2	80%	20-foot above average building elevation.	D See Special Reg. 6	E	1 per each 100 sq. ft. floor area. See Section 60 of this Chapter.	1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. 2. No setback is required adjacent to Third Street. 3. Must provide one outdoor waste receptacle for every eight parking stalls. 4. Access for drive-through facilities must be approved by the Public Works Department. 5. Site design must include installation of pedestrian linkages between public sidewalks and building entrances and between walkways on the subject property and existing or planned walkways on abutting properties consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan. 6. Landscape Category A is required if the subject property is adjacent to Planned Area 7B. 7. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. 8. <u>The required front yard for this use shall be 0' for one story at street level.</u> <u>No parking may encroach into the required 20' front yard.</u>
Entertainment, Cultural and/or Recreational Facility Hotel or Motel	A.D.R. Chapter 142	None	20' See Spec. A-10	0 Spec. B-1	0 Spec. B-2	80%	3-40 feet above average building elevation.	D See Special Reg. 6	E	See Section 105.25. See Section 60 of this Chapter. One for each room. See Spec. Reg. 3. See Section 60 of this Chapter.	1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. 2. No setback is required adjacent to Third Street. 3. The parking requirement for hotel or motel use does not include parking requirements for ancillary meetings and convention facilities. Additional parking requirements for ancillary uses shall be determined on a case-by-case basis. 4. Site design must include installation of pedestrian linkages between public sidewalks and building entrances and between walkways on the subject property and existing or planned walkways on abutting properties consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan. 5. Landscape Category B is required if the subject property is adjacent to Planned Area 7B. 6. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. 7. <u>The required front yard for this use shall be 0' for one story at street level.</u> <u>No parking may encroach into the required 20' front yard.</u>

For details of the regulations in this category, see Chapter 100.
 For information of the regulations in this category, see Chapter 95.
 For details of what may exceed this height limit, see Chapter 115.
 For details regarding required yards, see Chapter 115.

ZC-CBD7B5-11-93

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

Zone
CBD-7

Section
50.40.c

REGULATIONS

USE

Any Retail Establishment, other than those listed, limited, or prohibited in this zone, selling goods or providing services, including banking and related financial services

REQUIRED REVIEW PROCESS

A.D.R. Chapter 142

LOT SIZE

None

MINIMUMS REQUIRED YARDS

FRONT 20' See Special Regulation A+D 10

SIDE 0 See Special Regulation 2

REAR 0 3' apply to

MAXIMUMS

HEIGHT OF STRUCTURE 99-feet above average building elevation.

LOT COVERAGE 80%

LANDSCAPE CATEGORY

D See Special Reg. 8

SIGN CATEGORY

E

REQUIRED PARKING SPACES

1 per each 350 sq. ft. of gross floor area. See Section 80 of this Chapter.

SPECIAL REGULATIONS

- The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter.
- No setback is required adjacent to Third Street.
- Access for drive-through facilities must be approved by the Public Works Department.
- Ancillary assembly and manufacture of goods on the premises of this use are permitted only if:
 - The assembled or manufactured goods are directly related to and dependent upon this use, and are available for purchase and removal from the premises.
 - The outward appearance and impacts of this use with ancillary assembly or manufacturing activities must be no different from other retail uses.
- A use involving the preparation and consumption of food may include, as part of this use, accessory seating if:
 - The seating and associated circulation area does not exceed more than 10% of the gross floor area of this use; and
 - it can be demonstrated to the City that the floor plan is designed to preclude the seating area from being expanded.
- Vehicle and boat sale, repair, service, and rental are not permitted in this zone.
- Site design must include installation of pedestrian linkages between public sidewalks and building entrances and between walkways on the subject property and existing or planned walkways on adjoining properties consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan.
- Landscape Category B is required if the subject property is adjacent to Planned Area 7B.
- Refer to Chapter 1 to determine what other provisions of this code may apply to the subject property.
 - The required front yard for this use shall be 0' for one story at street level. No parking may encroach into the required 20' front yard.

ZC-CBD7C/4-28-93

Revised 4/93

For other information about parking and parking areas, see Chapter 105.
For details of the regulations in this category, see Chapter 100.
For information of the regulations in this category, see Chapter 95.
For details of what may exceed this height limit, see Chapter 115.
For details regarding required yards, see Chapter 115.

PAGE
100C

FOOTNOTES

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

Zone
CBD-7

Section
50.40.d

SPECIAL REGULATIONS

REGULATIONS

USE

Private Lodge or Club
see spec. pgs. 7

Church

REQUIRED REVIEW PROCESS	LOT SIZE	MINIMUMS REQUIRED YARDS			HEIGHT OF STRUCTURE	LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
		FRONT	SIDE	REAR					
A.D.R. Chapter 142	None	20' See Spec. Reg. 2	0 See Spec. Reg. 2	0 See Spec. Reg. 2	30-feet above average building elevation.	D See Special Reg. 5	B	See Section 105.25. See Section 60 of this Chapter.	<ol style="list-style-type: none"> The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. No setback is required adjacent to Third Street. Site design must include installation of pedestrian linkages between public sidewalks and building entrances and between walkways on the subject property and existing or planned walkways on abutting properties consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan. No parking is required for daycare or school ancillary to the use. Landscape Category C is required if the subject property is adjacent to Planned Area 7B. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. This use may be located on the Central Way level of a building only if there is an intervening retail storefront between this use and the right-of-way.
A.D.R. Chapter 142	None	20' See Spec. Reg. 2	0 See Spec. Reg. 2	0 See Spec. Reg. 2	30-feet above average building elevation.	D See Special Reg. 5	D	1 per each 350 sq. ft. of gross floor area. See Section 60 of this Chapter.	<ol style="list-style-type: none"> The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. No setback is required adjacent to Third Street. Ancillary assembly and manufacture of goods on premises may be permitted as part of office use if: <ol style="list-style-type: none"> The ancillary assembled or manufactured goods are subordinate to and dependent on this office use; and The outward appearance and impacts of this office use with ancillary assembly and manufacturing activities must be no different from other office uses. The following regulations apply to veterinary offices only: <ol style="list-style-type: none"> May only treat small animals on the subject property. Outside runs and other outside facilities for the animals are not permitted.

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

REGULATIONS	REVIEW PROCESS	MINIMUMS				MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
		LOT SIZE	REQUIRED YARDS			HEIGHT OF STRUCTURE	LOT COVERAGE				
			FRONT	SIDE	REAR						
USE Office Use (continued)	A.D.R. Chapter 142 School, Daycare Center, or Mini-School or Daycare Center	None	20' See Spec. Sec. 2	0	0	35-40 feet 35 feet above average building elevation.	80%	D	B	See Section 105.25. See Section 69-1 of this Chapter.	CBD-7 Zone Section 50.40.e

FOOTNOTES

ZC-CBD7E2-1E-95

For other information about parking and paving areas, see Chapter 100.
 For information of the regulations in this category, see Chapter 95.
 For details of what may exceed this height limit, see Chapter 115.
 For details regarding required yards, see Chapter 115.


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- SPECIAL REGULATIONS**
- Site must be designed so that noise from this use will not be audible off the subject property. A certification to this effect signed by an architectural engineer must be submitted with the A.D.R. and building permit applications.
 - A veterinary office is not permitted if the subject property contains dwelling units.
 - Site design must include installation of pedestrian linkages between public sidewalks and building entrances and between walkways on the subject property and existing or planned walkways on abutting properties consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan.
 - Landscape Category C is required if the subject property is adjacent to Planned Area 7B.
 - Refer to Chapter 1 to determine if other provisions of this Code may apply to the subject property. **This use may be located on the Central Way level of a building only if there is an intervening retail storefront between this use and the right-of-way.**
 - The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter.
 - No setback is required adjacent to Third Street.
 - A six-foot-high fence is required along all property lines adjacent to outside play areas.
 - Structured play areas must be set back from all property lines by at least five feet.
 - Hours of operation may be limited by the City to reduce impacts on nearby residential uses.
 - An on-site passenger loading area may be required depending on the number of attendees and the extent of the abutting right-of-way improvements.
 - These uses are subject to the requirements established by the Department of Social and Health Services (WAC 388-73, 388-150, and 388-155).
 - Site design must include installation of pedestrian linkages between public sidewalks and building entrances and between walkways on the subject property and existing or planned walkways on abutting properties consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan.
 - Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. **This use may be located on the Central Way level of a building only if there is an intervening retail storefront between this use and the right-of-way.**

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

REGULATIONS	REQUIRED REVIEW PROCESS	LOT SIZE	MINIMUMS REQUIRED YARDS			LOT COVERAGE	MAXIMUMS HEIGHT OF STRUCTURE	LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
			FRONT	SIDE	REAR						
<p>USE </p> <p>Stacked or Attached Dwelling Units <i>See regulations, Sec. 5</i></p>	A.D. R. Chapter 142	None	20'	0	0	80%	30-feet above average building elevation.	D	A	1.7 per unit. <i>See Section 60-105.25 of this Chapter.</i>	<p>SPECIAL REGULATIONS</p> <ol style="list-style-type: none"> The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. No setback is required adjacent to Third Street. Site design must include installation of pedestrian linkages between public sidewalks and building entrances and between walkways on the subject property and existing or planned walkways on abutting properties consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. <p><u>5. This use may be located on the Central Way level of a building only if there is an intervening retail storefront between this use and the right-of-way.</u></p>
<p>Public Utility, Government Facility, or Community Facility</p>	A.D. R. Chapter 142	None	20'	0	0	80%	30-feet above average building elevation.	D	B	See Section 105.25. <i>See Section 60-105.25 of this Chapter.</i>	<ol style="list-style-type: none"> The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. No setback is required adjacent to Third Street. Landscape Category C is required if the subject property is adjacent to Planned Area 7B. Landscape Category A or B may be required depending on the type of use on the subject property and the impacts associated with the use on nearby uses. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.
<p>Public Transit Shelter</p>	None	None	0	0	0	100%	15 feet above average building elevation.	--	See Spec. Reg. 2	None	<ol style="list-style-type: none"> May be permitted only if it will not unreasonably impede pedestrian movement or create traffic safety problems. May install transit route and information signs and markers.
<p>Public Park</p>	A.D.R. Chapter 142	None	Will be determined on a case-by-case basis			30-feet above average building elevation.	30-feet above average building elevation.	--	B	See Section 105.25. <i>See Section 60-105.25 of this Chapter.</i>	<ol style="list-style-type: none"> The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.

Revised 4/83

For other information about parking and parking areas, see Chapter 105.
For details of the regulations in this category, see Chapter 100.
For information of the regulations in this category, see Chapter 95.
For details of what may exceed this height limit, see Chapter 115.
For details regarding required yards, see Chapter 115.



USE REGULATIONS	DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS										USE ZONE CHART	
	REQUIRED REVIEW PROCESS	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	Zone	Section	
		LOT SIZE	REQUIRED YARDS			LOT COVERAGE				HEIGHT OF STRUCTURE	CBD-8	50.45.a
		FRONT	SIDE	REAR					SPECIAL REGULATIONS			
Restaurant or Tavern See Special Regulation 8	A.D.R. Chapter 142	None	0 See Spec. Reg.	0	0 and 3	100%	62 feet above average building elevation or existing grade. See Special Regulations 4 through 6. <u>30 feet above the elevation of 3rd Avenue or 4th Avenue as measured at the projected midpoint of the frontage of the subject property on the nearest applicable right-of-way. See Spec. Regs. 4, 5, AND 6.</u>	D See Special Reg. 45-11	E	One per each 125 sq. ft. of gross floor area. See also Section 80 of this Chapter.	<ol style="list-style-type: none"> The development of the subject property or adjacent rights-of-way must be consistent with the regulations of Section 85 of this Chapter. A minimum 20-foot front yard setback is required adjacent to: <ol style="list-style-type: none"> Fourth Avenue between 2nd Street and 3rd Street; Third Street, between 3rd Avenue and 4th Avenue; Market Street. The minimum required side and/or rear yard abutting the PR 3.6 and PLA 7A zones is 5 feet. Height of structure may be measured above existing grade or average building elevation, but not both. No portion of a structure within 100 feet of the PR 3.6, PLA 7A and PLA 7B zones located to the north of this zone may exceed 80 feet above the elevation of 2nd Street, 3rd Street, 3rd Avenue between 1st Street and 2nd Street, 4th Avenue, or Market Street as measured at the midpoint of the frontage of the subject property on the applicable abutting right-of-way. <u>THE MAXIMUM HEIGHT OF A FACADE ALONG CENTRAL WAY IS 30 FEET</u> No portion of a structure within 40 feet of Central Way may exceed 80 feet above the elevation of Central Way as measured above the midpoint of the frontage of the subject property on Central Way. Structures shall be modulated and terraced on the hillside in this zone. The tallest building forms shall be grouped towards the center of the subject property with lower components located towards the perimeter of the subject property. The maximum height of structures on the subject property may be increased by 12 feet if the applicant provides subterranean parking for uses in the CBD-1 or CBD-2 zones or makes a portion of the subject property or the proposed structure available for public parking. Any proposal under this paragraph will be reviewed and decided upon as a Planned Unit Development, Chapter 136 of this Code. As part of the PUD process, the City will determine whether the public benefit derived from providing this additional parking is sufficient to allow the increase in height and building mass. This use is permitted only if the subject property abuts Central Way. The site and building must be designed so that this use is primarily oriented towards Central Way. No aspect or component of this use may be located on or oriented towards Third Avenue between First Street and Second Street or Fourth Avenue. If the subject property abuts Third Avenue between First Street and Second Street or Fourth Avenue, the site and buildings must be designed to provide residential character and scale adjacent to Third Avenue and Fourth Avenue. 	
ZC-CBD8/12-27-94										REGULATIONS CONCLUDED ON NEXT PAGE	Revised 11/1/94, O-3438	
FOOTNOTES										PAGE 101A		

For other information about parking and parking areas, see Chapter 105.
 For details of the regulations in this category, see Chapter 100.
 For information of the regulations in this category, see Chapter 95.
 For details of what may exceed this height limit, see Chapter 115.
 For details regarding required yards, see Chapter 115.

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USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

REGULATIONS	REVIEW PROCESS	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
		LOT SIZE	REQUIRED YARDS		HEIGHT OF STRUCTURE	LOT COVERAGE				
			FRONT	SIDE						
USE  Restaurant or Tavern (continued) 									CBD-8 Section 50.45.b	
ZC-CBD8B5-12.93									<ol style="list-style-type: none"> 8. Drive-in facilities and drive-through facilities are not permitted in this zone. 9. The site must be designed so that vehicles coming from and going to the site will be directed away from residential neighborhoods to the north of this zone. 10. Site design must include installation of pedestrian finishes between public sidewalks and building entrances and between walkways on the subject property and existing or planned walkways on abutting properties consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan. 11. Landscape Category B is required if the subject property is adjacent to the Planned Area 7A or 7B or PR 3.6 zones. 12. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. 4. No portion of a structure shall exceed the height established by a 2:1 angle starting at a point 4' above the elevation of Central Way as measured at the projected midpoint of the subject property on Central Way and continuing to a point which intersects the established 30' height limit above 3rd Avenue or 4th Avenue. 5. For properties on the west side of 1st Street, the 30' height limit shall be measured above the midpoint of the intersection of 1st Street and 3rd Avenue. For properties with frontage on Market Street, the 30' height limit shall be measured above the midpoint of the subject property bordering the PR zone to the north. 	

For other information about parking and parking areas, see Chapter 105.
 For details of the regulations in this category, see Chapter 100.
 For information of the regulations in this category, see Chapter 95.
 For details of what may exceed this height limit, see Chapter 115.
 For details regarding required yards, see Chapter 115.

Revised 4/93

USE ZONE CHART



REGULATIONS	DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS	MINIMUMS				MAXIMUMS	LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED SPACES	SPECIAL REGULATIONS
		LOT SIZE	FRONT	SIDE	REAR					
USE Fast Food Restaurant See Special Regulation 9	A.D.R. Chapter 142	None	0 See Spec. Reg. 2 and 3	0	0	100% 10 feet above the average building elevation or existing grade. See Special Regulation 9.	D See Special Reg. 10	E	1 per 100 sq. ft. of gross floor area. See Section 60 of this Chapter.	CBD-8 Section 50.45.c

REGULATIONS CONCLUDED ON NEXT PAGE

Revised 11/1/94, O-3438

REGULATIONS CONCLUDED ON NEXT PAGE

For other information about parking and parking areas, see Chapter 105. For details of the regulations in this category, see Chapter 100. For information of the regulations in this category, see Chapter 85. For details of what may exceed this height limit, see Chapter 115. For details regarding required yards, see Chapter 115.

USE ZONE CHART										
REGULATIONS	REVIEW PROCESS	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED SPACES	SPECIAL REGULATIONS
		LOT SIZE	FRONT	SIDE	REAR	LOT COVERAGE				
USE   Fast Food Restaurant (continued)									Zone CBD-8	Section 50.45.d
SPECIAL REGULATIONS										
<p>10: Drive-in facilities and drive-through facilities are not permitted in this zone.</p> <p>11: The site must be designed so that vehicles coming from and going to the site will be directed away from residential neighborhoods to the north of this zone.</p> <p>12: Site design must include installation of pedestrian linkages between public sidewalks and building entrances and between walkways on the subject property and existing or planned walkways on abutting properties consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan.</p> <p>13: Landscape Category A is required if the subject property is adjacent to the Planned Areas 7A or 7B or PR 3.0 zones.</p> <p>14: Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.</p> <p>4. No portion of a structure shall exceed the height established by a 3:1 angle starting at a point 41' above the elevation of Central Way as measured at the projected midpoint of the subject property on Central Way and continuing to a point which intersects the established 30' height limit above 3rd Avenue or 4th Avenue.</p> <p>5. For properties on the west side of 1st Street, the 30' height limit shall be measured above the midpoint of the intersection of 1st Street and 3rd Avenue. For properties with frontage on Market Street, the 30' height limit shall be measured above the midpoint of the subject property bordering the PR zone to the north.</p>										
DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS										
REVISIONS:										
FOOTNOTES										
For other information about parking and peaking areas, see Chapter 105. For details of the regulations in this category, see Chapter 100. For information of the regulations in this category, see Chapter 95. For details of what may exceed this height limit, see Chapter 115. For details regarding required yards, see Chapter 115.										
2C-CBD885-3-93										
Revised 4/83										
PAGE 101D										

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

REGULATIONS	REQUIRED REVIEW PROCESS	MINIMUMS				MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	Section
		LOT SIZE	FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE				
<p>USE </p> <p>Entertainment/Cultural and/or Recreational Facility </p>	A.D.R. Chapter 1142	None	0 See Spec. Reg. 7 and 3	0	0	100%	<p>60 feet above average building elevation or existing grade. See Special Regulations 4 and 6.</p> <p>30 feet above the elevation of 3rd Avenue or 4th Avenue as measured at the projected midpoint of the frontage of the subject property on the nearest applicable right-of-way. See Spec. Regs. 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.</p>	E	See Section 105.25. See also Section 60 of this Chapter.	50.45.e	
<p>Hotel and Motel</p> <p>See Special Regulation 9</p>								E	One per each room. See Spec. Reg. 16-D. See also Section 60 of this Chapter.	SPECIAL REGULATIONS	
										<p>1. The development of the subject property or adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter.</p> <p>2. A minimum 20-foot front yard setback is required adjacent to:</p> <p>a. Fourth Avenue between 2nd Street and 3rd Street;</p> <p>b. Third Street, between 3rd Avenue and 4th Avenue;</p> <p>c. Market Street.</p> <p>3. The minimum required side and/or rear yard abutting the PR 3.8 and PLA 7A zones is 5 feet.</p> <p>4. Height of structure may be measured above existing grade or average building elevation, but not both.</p> <p>5. No portion of a structure within 100 feet of the PR 3.8, PLA 7A and PLA 7B zones located to the south of this zone may exceed 30 feet above the elevation of 2nd Street, 3rd Street, 3rd Avenue between 1st Street and 2nd Street, 4th Avenue, or Market Street as measured at the midpoint of the frontage of the subject property or the applicable existing right-of-way.</p> <p>6. No portion of a structure within 40 feet of Central Way may exceed 59 feet above the elevation of Central Way as measured above the midpoint of the frontage of the subject property on Central Way.</p> <p>7. Structures shall be modulated and terraced on the hillside in this zone. The tallest building forms shall be grouped towards the center of the subject property with lower components located towards the perimeter of the subject property.</p> <p>8. The maximum height of structures on the subject property may be increased by 13 feet if the applicant provides additional parking for uses in the CBD-1 or CBD-2 zones or makes a portion of the subject property or the proposed structure available for public parking. Any proposal under this paragraph will be reviewed and decided upon as if it were a Planned Unit Development. Chapter 125 of this Code. As part of the PUD process, the City will determine whether the public benefit derived from providing the additional parking is sufficient to allow the increase in height and building mass.</p> <p>9. This use is permitted only if the subject property abuts Central Way. The site and building must be designed so that this use is primarily oriented towards Central Way. No aspect or component of this use may be located on or oriented towards Third Avenue between First Street and Second Street or Fourth Avenue. If the subject property abuts Third Avenue between First Street and Second Street or Fourth Avenue, the site and buildings must be designed to provide residential character and scale adjacent to Third Avenue and Fourth Avenue.</p>	

REGULATIONS CONCLUDED ON NEXT PAGE

Revised 11/1/84, O-3438

For other information about parking and parking areas, see Chapter 105.
For details of the regulations in this category, see Chapter 100.
For information of the regulations in this category, see Chapter 95.
For details of what may exceed this height limit, see Chapter 115.
For details regarding required yards, see Chapter 116.



FOOTNOTES

PAGE
101E

ZC-CB08/12-27-94

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

USE REGULATIONS	REVIEW PROCESS	LOT SIZE	MINIMUMS			MAXIMUMS			LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
			REQUIRED YARDS			LOT COVERAGE	HEIGHT OF STRUCTURE	REAR				
			FRONT	SIDE	REAR							
USE  REGULATIONS  Entertainment/ Cultural and/or Recreational Facility (continued) Hotel and Motel (continued)											Zone CBD-8 Section 50.45.f	
<p>10: The parking requirements for hotel or motel use do not include parking requirements for ancillary meeting rooms and convention facilities. Additional parking requirements for ancillary uses shall be determined on a case-by-case basis.</p> <p>11: The site must be designed so that vehicles coming from and going to the site will be directed away from residential neighborhoods to the north of this zone.</p> <p>12: Site design must include installation of pedestrian linkages between public sidewalks and building entrances and between walkways on the subject property and existing or planned walkways on abutting properties consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan.</p> <p>13: Landscape Category B is required if the subject property is adjacent to the Planned Areas 7A or 7B or PR 3.5 zones.</p> <p>14: Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.</p> <p>4: No portion of a structure shall exceed the height established by a 3:1 angle starting at a point 41' above the elevation of Central Way as measured at the projected midpoint of the subject property on Central Way and continuing to a point which intersects the established 30' height limit above 3rd Avenue or 4th Avenue.</p> <p>5: For properties on the west side of 1st Street, the 30' height limit shall be measured above the midpoint of the intersection of 1st Street and 3rd Avenue. For properties with frontage on Market Street, the 30' height limit shall be measured above the midpoint of the subject property bordering the PR zone to the north.</p>												

Revised 4/83

For other information about parking and parking areas, see Chapter 105.
 For details of the regulations in this category, see Chapter 100.
 For information of the regulations in this category, see Chapter 95.
 For details of what may exceed this height limit, see Chapter 115.
 For details regarding required yards, see Chapter 115.

PAGE
101F

FOOTNOTES

ZC-CBD08/5-3-83

USE REGULATIONS

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

USE REGULATIONS	REQUIRED REVIEW PROCESS	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS	Zone	Section
		LOT SIZE	FRONT	SIDE	REAR	LOT COVERAGE						
<p>Any Retail Establishment, other than those specifically listed, or prohibited in this Zone, selling goods or providing services including banking and related financial services.</p> <p>See Special Regulation 9</p>	A.D.R. Chapter 142	None	0' See Spec. Reg. 2 and 3	0'	0'	100%	<p>55-feet above average building elevation or existing grade. See Special Regulations 4 through 8.</p> <p>30 feet above the elevation of 3rd Avenue or 4th Avenue as measured at the projected midpoint of the frontage of the subject property on the nearest applicable right-of-way. See Spec. Regs. 4, 5, and 9.</p>	<p>D</p> <p>See Special Reg. 4-9</p>	E	<p>1 per each 350 sq. ft. of gross floor area. See Section 60 of this Chapter.</p>	<p>SPECIAL REGULATIONS</p> <p>1. The development of the subject property or adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter.</p> <p>2. A minimum 20-foot front yard setback is required adjacent to:</p> <ul style="list-style-type: none"> a. Fourth Avenue between 2nd Street and 3rd Street; b. Third Street, between 3rd Avenue and 4th Avenue; c. Market Street. <p>3. The minimum required side and/or rear yard abutting the PR 3.8 and PLA 7A zones is 5 feet.</p> <p>4. Height of structure may be measured above existing grade or average building elevation, but not both.</p> <p>5. No portion of a structure within 100 feet of the PR 3.8, PLA 7A and PLA 7B zones located north of this zone may exceed 30 feet above the elevation of 3rd Street, 3rd Street and 4th Avenue, or Market Street as measured at the midpoint of the frontage of the subject property on the applicable right-of-way.</p> <p>6. No portion of a structure within 20 feet of Central Way may exceed 30 feet above the elevation of Central Way as measured above the midpoint of the frontage of the subject property on Central Way.</p> <p>7. Structures shall be modulated and terraced on the hillside in this zone. The tallest building form shall be grouped towards the center of the subject property with lower components located towards the perimeter of the subject property.</p> <p>8. The maximum height of structures on the subject property may be increased by 10 feet if the applicant provides additional parking for uses in the CBD-1 or CBD-2 zones or makes a portion of the subject property or the proposed structure available for public parking. Any proposal under this paragraph will be reviewed and decided upon as a Planned Unit Development. Chapter 125 of this Code. As part of the PUD process, the City will determine whether the public benefit derived from providing this additional parking is sufficient to allow this increase in height and building mass.</p> <p>9. This use is permitted only if the subject property abuts Central Way. The site and building must be designed so that this use is primarily oriented towards Central Way. No aspect or component of this use may be located on or oriented towards Third Avenue between First Street and Second Street or Fourth Avenue. If the subject property abuts Third Avenue between First Street and Second Street or Fourth Avenue, the site and buildings must be designed to provide residential character and scale adjacent to Third Avenue and Fourth Avenue.</p>	<p>Zone CBD-8</p> <p>Section 50.45.9</p>

ZC-CBD08/12-27-94

REGULATIONS CONCLUDED ON NEXT PAGE

Revised 11/1/84, O-3438

For other information about parking and parking areas, see Chapter 105.
For details of the regulations in this category, see Chapter 100.
For information of the regulations in this category, see Chapter 85.
For details of what may exceed this height limit, see Chapter 115.
For details regarding required yards, see Chapter 115.

FOOTNOTES

PAGE
101G

1 33 3 3 3 3

USE ZONE CHART



DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

Zone
CBD-8

Section
50.45.h

SPECIAL REGULATIONS

REGULATIONS

USE  

REGULATIONS	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	PARKING SPACES	SPECIAL REGULATIONS
	LOT SIZE	FRONT	SIDE	REAR	HEIGHT OF STRUCTURE				
Any Retail Establishment, other than those specifically listed, or prohibited in this Zone, selling goods or providing services including banking and related financial services (continued)								8	<p>10-: The following uses are not permitted in this zone:</p> <ul style="list-style-type: none"> a. Vehicle service stations. b. Vehicle sales, repair, service, or rental. c. Drive-in facilities and drive-through facilities. <p>11-: Landscape Category B shall be provided if the subject property is adjacent to Planned Areas 7A or 7B, or PR 3.6. Boat sales, repair, service, or rental shall provide a Landscape Category C unless the subject property is adjacent to Planned Areas 7A, 7B, or PR 3.6 zones, then Landscape Category A is required.</p> <p>12-: Boat repair and service shall be conducted within an enclosed structure.</p> <p>13-: A use involving the preparation and consumption of food may include, as part of this use, accessory seating if:</p> <ul style="list-style-type: none"> a. The seating and associated circulation area does not exceed more than 10% of the gross floor area of this use; and b. It can be demonstrated to the City that the floor plan is designed to preclude the seating area from being expanded. <p>14-: The site must be designed so that vehicles coming from and going to the site will be directed away from residential neighborhoods to the north of this zone.</p> <p>15-: Site design must include installation of pedestrian linkages between public sidewalks and building entrances and between walkways on the subject property and existing or planned walkways on abutting properties consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan.</p> <p>16-: Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.</p>
								4	<p>4. No portion of a structure shall exceed the height established by a 3:1 angle starting at a point 4' above the elevation of Central Way as measured at the projected midpoint of the subject property on Central Way and continuing to a point which intersects the established 30' height limit above 3rd Avenue or 4th Avenue.</p>
								5	<p>5. For properties on the west side of 1st Street, the 30' height limit shall be measured above the midpoint of the intersection of 1st Street and 3rd Avenue. For properties with frontage on Market Street, the 30' height limit shall be measured above the midpoint of the subject property bordering the PR zone to the north.</p>

ZCCBD8B.6-12-83

Revised 4/83

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

REGULATIONS	REVIEW PROCESS	MINIMUMS				MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
		LOT SIZE	FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE				
USE Private Club or Lodge 4124 4125 4126	A.D.R. Chapter 142	None	See Spec. Reg. 10	0	0	100%	62 feet above average building elevation or existing grade—See Special Regulations 4 through 6— 30 feet above the elevation of 3rd Avenue or 4th Avenue as measured at the projected midpoint of the frontage of the subject property on the nearest applicable right-of-way. See Spec. Regs. 4.5, 4.7, 4.8	D See Special Reg. 42-11	B	See Section 105.25 See Section 60 of this Chapter.	SPECIAL REGULATIONS 1. The development of the subject property or adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. 2. A minimum 20-foot front yard setback is required adjacent to: a. Fourth Avenue between 2nd Street and 3rd Street; b. Third Street, between 3rd Avenue and 4th Avenue; c. Market Street. 3. The minimum required side and/or rear yard abutting the PR 3.6 and PLA 7A zones is 5 feet. 4. Height of structure may be measured above existing grade or average building elevation; but not both. 5. No portion of a structure within 100 feet of the PR 3.6, PLA 7A and PLA 7B zones located to the north of this zone may exceed 30 feet above the elevation of 3rd Street, 3rd Avenue between 1st Street and 3rd Street, 4th Avenue or Market Street as measured at the midpoint of the frontage of the subject property on the applicable building right-of-way. THE MAXIMUM HEIGHT OF A PRIVATE CLUB OR LODGE SHALL BE 30 FEET ABOVE THE ELEVATION OF CENTRAL WAY AS MEASURED ABOVE THE MIDPOINT OF THE FRONTAGE OF THE SUBJECT PROPERTY ON CENTRAL WAY. 7. Structures shall be modulated and terraced on the hillside in this zone. The tallest building forms shall be graded towards the center of the subject property with lower components façaded towards the perimeter of the subject property. 8. The maximum height of structures on the subject property may be increased by 13 feet if the applicant provides sufficient parking for uses in the CBD-1 or CBD-2 zones or makes a portion of the subject property or the structural structure suitable for public parking. Any proposed use in this paragraph will be reviewed and decided upon as a Planned Unit Development, Chapter 125 of this Code. As part of the PUD process, the City will determine whether the public benefits derived from providing this additional parking is sufficient to allow the increase in height and building mass. 9. This use is permitted only if the subject property abuts Central Way. If the subject property abuts Third Avenue between First Street and Second Street or Fourth Avenue, the site and buildings must be designed to provide residential character and scale adjacent to Third Avenue and Fourth Avenue. 10. The site must be designed so that vehicles coming from and going to the site will be directed away from residential neighborhoods to the north of this zone.



DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

USE ZONE CHART

Zone CBD-8	Section 50.45.j
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SPECIAL REGULATIONS

USE REGULATIONS

REQUIRED REVIEW PROCESS			MINIMUMS REQUIRED YARDS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES
LOT SIZE	FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE					

10.11. Site design must include installation of pedestrian linkages between public staircases and building entrances and between walkways on the subject property and existing or planned walkways on adjoining properties consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan.

11. Landscape Category C is required if the subject property is adjacent to Planned Areas 7A or 7B, or PR 3.5 zones.

12.11. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.

4. No portion of a structure shall exceed the height established by a 3:1 angle starting at a point 4' above the elevation of Central Way as measured at the projected midpoint of the subject property on Central Way and continuing to a point which intersects the established 30' height limit above 3rd Avenue or 4th Avenue.

5. For properties on the west side of 1st Street, the 30' height limit shall be measured above the midpoint of the intersection of 1st Street and 3rd Avenue. For properties with frontage on Market Street, the 30' height limit shall be measured above the midpoint of the subject property bordering the PR zone to the north.

7. This use may be located on the Central Way level of a building only if there is an intervening retail store front between this use and the right-of-way.

12. Ground floor porches and similar entry features may encroach into the front yard, provided the total horizontal dimension of such elements may not exceed 25% of the length of the facade of the structure.

ZC-C808B5-3-93

Revised 4/93

FOOTNOTES

For other information about parking and parking areas, see Chapter 105.
For details of the regulations in this category, see Chapter 100.
For information of the regulations in this category, see Chapter 95.
For details of what may exceed this height limit, see Chapter 115.
For details regarding required yards, see Chapter 115.

PAGE
101J

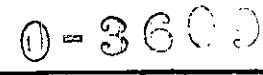
REGULATIONS		USE ZONE CHART										Section 50.45.k
		MINIMUMS		MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS			
USE	DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS	REQUIRED REVIEW PROCESS	LOT SIZE	REQUIRED YARDS					LOT COVERAGE	HEIGHT OF STRUCTURE	REQUIREMENTS	REQUIREMENTS
		Office Use	None	FRONT	SIDE	REAR	100%	52-foot above average building elevation or existing grade - One Specifier - Regulations through 6 -	D	D	D	1 per each 350 sq. ft. of gross floor area. See Section 60 of this Chapter.
Office Use		A.D.R. Chapter 142	None	0	0	0	100%	52-foot above average building elevation or existing grade - One Specifier - Regulations through 6 -	D	D	1 per each 350 sq. ft. of gross floor area. See Section 60 of this Chapter.	1. The development of the subject property or adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. 2. A minimum 20-foot front yard setback is required adjacent to: a. Fourth Avenue between 2nd Street and 3rd Street; b. Third Street, between 3rd Avenue and 4th Avenue; c. Market Street. 3. The minimum required side and/or rear yard abutting the PR 3 B and PLA 7A Zones is 5 feet. 4. Height of structure may be measured above existing grade or average building elevation, but not both. 5. No portion of a structure within 100 feet of the PR 3 B, PLA 7A and PLA 7B zones located to the south of this zone may exceed 30 feet above the elevation of 2nd Street, 3rd Street, 4th Avenue, 5th Avenue, 6th Avenue, or Market Street as measured at the midpoint of the frontage of the subject property on the applicable abutting right-of-way. 6. No portion of a structure within 40 feet of Central Way may exceed 30 feet above the elevation of Central Way as measured above the midpoint of the frontage of the subject property on Central Way. 7. Structures shall be modulated and terraced on the hillside in this zone. The tallest building forms shall be grouped towards the center of the subject property with lower components located towards the perimeter of the subject property. 8. The maximum height of structures on the subject property may be increased by 12 feet if the applicant provides additional parking for uses in the CBD-T or CBD-F zones or makes a portion of the subject property or the proposed structure available for public parking. Any proposal under this paragraph will be reviewed and decided upon as a Planned Unit Development - Chapter 125 of this Code. As part of the PUD process, the City will determine whether the public benefit derived from providing this additional parking is sufficient to allow the increase in height and building mass. 9. The following regulations apply to veterinary offices only: a. May only treat small animals on the subject property. b. Outside runs and other outside facilities for the animals are not permitted. c. Site must be designed so that noise from this use will not be audible off the subject property. A certificate to this effect signed by an Acoustical Engineer must be submitted with the A.D.R. and building permit application. d. A veterinary office is not permitted if the subject property contains dwelling units.
								30 feet above the elevation of 3rd Avenue or 4th Avenue as measured at the projected midpoint of the frontage of the subject property on the nearest applicable right-of-way. See Spec. Regs. 45, 46, 47				REGULATIONS CONCLUDED ON NEXT PAGE

ZC-CBD8/12-27-04

For other information about parking and parking areas, see Chapter 105.
For details of the regulations in this category, see Chapter 100.
For information of the regulations in this category, see Chapter 95.
For details of what may exceed this height limit, see Chapter 116.
For details regarding required yards, see Chapter 116.

FOOTNOTES

PAGE
101K



USE ↓ REGULATIONS ↑	DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS										USE ZONE CHART	
	REQUIRED REVIEW PROCESS	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	Zone CBD-8	Section 50.45.1	
		LOT SIZE	REQUIRED YARDS			LOT COVERAGE						HEIGHT OF STRUCTURE
		FRONT	SIDE	REAR					SPECIAL REGULATIONS			
Office Use (continued)									19	<p>10: Ancillary assembly and manufacture of goods on premises may be permitted as part of an office use if:</p> <p>a. The ancillary assembled or manufactured goods are subordinate to and dependent on the office use; and</p> <p>b. The outward appearance and impacts of this office use with ancillary assembly and manufacturing activities must be no different from other office uses.</p>		
									10	11: If the subject property abuts Third Avenue between First Street and Second Street, or Fourth Avenue, the site and buildings must be designed to provide residential character and scale adjacent to Third Avenue and Fourth Avenue.		
									11	12: The site must be designed so that vehicles coming from and going to the site will be directed away from residential neighborhoods to the north of the zone.		
									12	13: Site design must include installation of pedestrian linkages between public sidewalk and building entrances and between walkways on the subject property and existing or planned walkways on abutting properties consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan.		
									13	14: Landscape Category C is required if the subject property is adjacent to Planned Areas 7A or 7B, or PR 3.6 zones.		
									14	15: Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.		
									15	16: <u>Ground floor porches and similar entry features may encroach into the front yard, provided the total horizontal dimension of such elements may not exceed 25% of the length of the facade of the structure.</u>		
										<p>4. <u>No portion of a structure shall exceed the height established by a 3:1 angle starting at a point 41' above the elevation of Central Way as measured at the projected midpoint of the subject property on Central Way and continuing to a point which intersects the established 30' height limit above 3rd Avenue or 4th Avenue.</u></p> <p>5. <u>For properties on the west side of 1st Street, the 30' height limit shall be measured above the midpoint of the intersection of 1st Street and 3rd Avenue. For properties with frontage on Market Street, the 30' height limit shall be measured above the midpoint of the subject property bordering the PR zone to the north.</u></p> <p>7. <u>This use may be located on the Central Way level of a building only if there is an intervening retail store front between this use and the right-of-way.</u></p>		

ZC-CBD8B/5-3-93

Revised 4/13

FOOTNOTES

- For other information about parking and parking areas, see Chapter 105.
- For details of the regulations in this category, see Chapter 100.
- For information of the regulations in this category, see Chapter 95.
- For details of what may exceed this height limit, see Chapter 115.
- For details regarding required yards, see Chapter 115.

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99
99
99
99

USE REGULATIONS	DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS										USE ZONE CHART		
	REQUIRED REVIEW PROCESS	LOT SIZE	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS	Zone	Section
			FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE					CBD-8	50.45.m
Church	A.D.R. Chapter 142	None	4 15-	0 See Spec. Reg. A and 17	0 and 3,	100%	52 feet above average building elevation or existing grade. See Special Regulations 4 through 6. 30 feet above the elevation of 3rd Avenue or 4th Avenue as measured at the projected midpoint of the frontage of the subject property on the nearest applicable right-of-way. See Spec. Regs. 4, 5, and 6	D See Special Reg. 11	B	1 per every four people based on maximum occupancy load of any area of worship. See Spec. Reg. 42, 10. See Section 60 of this Chapter.	<ol style="list-style-type: none"> The development of the subject property or adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. A minimum 20-foot front yard setback is required adjacent to: <ol style="list-style-type: none"> Fourth Avenue between 2nd Street and 3rd Street; Third Street, between 3rd Avenue and 4th Avenue; Market Street. The minimum required side and/or rear yard abutting the PR 3.6 and PLA 7A zones is 5 feet. Height of structure may be measured above existing grade or average building elevation, but not both. No portion of a structure within 100 feet of the PR 3.6, PLA 7A and PLA 7B zones located to the north of this zone may exceed 30 feet above the elevation of 2nd Street, 3rd Street, 3rd Avenue between 1st Street and 2nd Street, 4th Avenue, or Market Street as measured at the midpoint of the frontage of the subject property on the applicable abutting right-of-way. The maximum height of a facade along Central Way is 3 stories No portion of a structure within 40 feet of Central Way may exceed 33 feet above the elevation of Central Way as measured above the midpoint of the frontage of the subject property on Central Way. Structures shall be modulated and terraced on the hillside in this zone. The tallest building forms shall be grouped towards the center of the subject property with lower components located towards the perimeter of the subject property. The maximum height of structures on the subject property may be increased by 15 feet if the applicant provides subterranean parking for uses in the CBD-1 or CBD-2 zones or makes a portion of the subject property or the proposed structure available for public parking. Any proposal under this paragraph will be reviewed and decided upon as a Planned Unit Development, Chapter 125 of this Code. As part of the PLUD process, the City will determine whether the public benefit derived from providing this additional parking is sufficient to allow the increase in height and building mass. This use is permitted only if the subject property abuts Central Way. If the subject property abuts Third Avenue between First Street and Second Street or Fourth Avenue, the site and buildings must be designed to provide residential character and scale adjacent to Third Avenue and Fourth Avenue. The site must be designed so that vehicles coming from and going to the site will be directed away from residential neighborhoods to the north of this zone. 		
ZC-CBDB/12-27-94	REGULATIONS CONCLUDED ON NEXT PAGE										Revised 11/1/94, O-3436		
FOOTNOTES For other information about parking and parking areas, see Chapter 105. For details of the regulations in this category, see Chapter 100. For information of the regulations in this category, see Chapter 95. For details of what may exceed this height limit, see Chapter 115. For details regarding required yards, see Chapter 115.											PAGE 101M		

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1
2
3
4
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6
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USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

REGULATIONS	REVIEW PROCESS	LOT SIZE	MINIMUMS REQUIRED YARDS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
			FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE				
Church (continued)										<p>Zone CBD-8</p> <p>Section 50.45.n</p> <p>SPECIAL REGULATIONS</p> <p>11. Site design must include installation of pedestrian bridges between public sidewalks and building entrances and between walkways on the subject property and existing or planned walkways on abutting properties consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan.</p> <p>12. No parking is required for daycare or school ancillary to the use.</p> <p>13. Landscape Category C is required if the subject property is adjacent to Planned Areas 7A or 7B, or PR 3.6 zones.</p> <p>14. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.</p> <p>4. No portion of a structure shall exceed the height established by a 3:1 angle starting at a point 4' above the elevation of Central Way as measured at the projected midpoint of the subject property on Central Way and continuing to a point which intersects the established 30' height limit above 3rd Avenue or 4th Avenue.</p> <p>5. For properties on the west side of 1st Street, the 30' height limit shall be measured above the midpoint of the intersection of 1st Street and 3rd Avenue. For properties with frontage on Market Street, the 30' height limit shall be measured above the midpoint of the subject property bordering the PR zone to the north.</p> <p>6. Ground floor porches and similar entry features may encroach into the front yard, provided the total horizontal dimension of such elements may not exceed 25% of the length of the facade of the structure.</p>	

ZC-CBD08/5-3-93

Revised 4/5

FOOTNOTES

For other information about parking and parking areas, see Chapter 105.
 For details of the regulations in this category, see Chapter 100.
 For information of the regulations in this category, see Chapter 95.
 For details of what may exceed this height limit, see Chapter 115.
 For details regarding required yards, see Chapter 115.

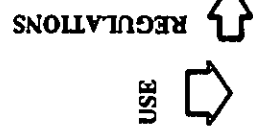
USE REGULATIONS

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

Zone
CBD-8

Section
50.45.0

School, Daycare Center or Mini-School or Daycare Center



REQUIRED REVIEW PROCESS
A.D.R. Chapter 142

LOT SIZE
None

MINIMUMS REQUIRED YARDS
FRONT: 0' See Spec. Reg. 2 and 3
SIDE: 0'
REAR: 0'

MAXIMUMS
LOT COVERAGE: 100%

HEIGHT OF STRUCTURE
30 feet above the elevation of 3rd Avenue or 4th Avenue as measured at the projected midpoint of the frontage of the subject property on the nearest applicable right-of-way. See Spec. Regs. 4, 5, 6, and 7.

LANDSCAPE CATEGORY
D

SIGN CATEGORY
B

REQUIRED PARKING SPACES
See Section 105.26. See also Section 60 of this Chapter.

SPECIAL REGULATIONS
1. The development of the subject property or adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter.
2. A minimum 20-foot front yard setback is required adjacent to:
a. Fourth Avenue between 2nd Street and 3rd Street;
b. Third Street, between 3rd Avenue and 4th Avenue;
c. Market Street.
3. The minimum required side and/or rear yard abutting the PR 3.6 and PLA 7A zones is 5 feet.
4. Height of structure may be measured above existing grade or average building elevation, but not both.
5. No portion of a structure within 100 feet of the PR 3.6, PLA 7A and PLA 7B zones located to the east of this zone may exceed 30 feet above the elevation of 3rd Street, 3rd Avenue, 4th Avenue, 4th Street, 4th Avenue, or Market Street as measured at the midpoint of the frontage of the subject property on the applicable right-of-way.
6. No portion of a structure within 40 feet of Central Way may exceed 30 feet above the elevation of Central Way.
7. Structures shall be regulated and zoned on the hillside in this zone. The tallest building forms shall be grouped towards the center of the subject property with lower components located towards the perimeter of the subject property.
8. The maximum height of structures on the subject property may be increased by 12 feet if the applicant provides evidence demonstrating use in the CBD-1 or CBD-2 zones or makes a portion of the subject property or the proposed structure available for public parking. Any proposed use of this paragraph will be reviewed and decided upon as a Planned Unit Development, Chapter 125.01.11b. Code. As part of the PUD process, the City will determine whether the public benefit derived from providing this additional parking is sufficient to allow the increase in height and building mass.
9. The site must be designed so that vehicles coming from and going to the site will be directed away from residential neighborhoods to the north of this zone.
10. If the subject property abuts Third Avenue between First Street and Second Street, or Fourth Avenue, the site and buildings must be designed to provide residential character and scale adjacent to Third Avenue and Fourth Avenue.

REGULATIONS CONCLUDED ON NEXT PAGE

REVISED 11/1/84, O-3436

REGULATIONS CONCLUDED ON NEXT PAGE

REVISED 11/1/84, O-3436

For other information about parking and parking areas, see Chapter 105.
For details of the regulations in this category, see Chapter 100.
For information of the regulations in this category, see Chapter 95.
For details of what may exceed this height limit, see Chapter 115.
For details regarding required yards, see Chapter 115.



FOOTNOTES

ZC-CBD8/12-27-84

PAGE 1010

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

REGULATIONS  **USE** 

Section
50.45.p

Zone
CBD-8

SPECIAL REGULATIONS

- 9.11: A six-foot high fence is required along all property lines adjacent to outside play areas.
 - 9.12: Structured play areas must be set back from all property lines by at least 5 feet.
 - 9.13: Hours of operation may be limited by the City to reduce impacts on nearby residential uses.
 - 9.14: An on-site passenger loading area may be required depending on the number of attendees and the extent of the abutting right-of-way improvements.
 - 9.15: These uses are subject to the requirements established by the Department of Social and Health Services (WAC 368-73, 368-150, and 368-155).
 - 9.16: Site design must include provision of pedestrian linkages between public sidewalks and building entrances and between walkways on the subject property and existing curbside walkways on abutting properties consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan.
 - 9.17: Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.
4. No portion of a structure shall exceed the height established by a 3:1 angle starting at a point 41' above the elevation of Central Way as measured at the projected midpoint of the subject property on Central Way and continuing to a point which intersects the established 30' height limit above 3rd Avenue or 4th Avenue.
5. For properties on the west side of 1st Street, the 30' height limit shall be measured above the midpoint of the intersection of 1st Street and 3rd Avenue. For properties with frontage on Market Street, the 30' height limit shall be measured above the midpoint of the subject property bordering the PR zone to the north.

REVIEW PROCESS	LOT SIZE	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED SPACES
		FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE			

School, Daycare Center or Mini-School or Daycare Center (continued)

ZC-CBD8/5-3-93

Revised 4/73

For other information about parking and parking areas, see Chapter 105.
For details of the regulations in this category, see Chapter 100.
For information of the regulations in this category, see Chapter 95.
For details of what may exceed this height limit, see Chapter 115.
For details regarding required yards, see Chapter 115.

PAGE
101P

FOOTNOTES

USE REGULATIONS

REQUIRED REVIEW PROCESS

LOT SIZE

MINIMUMS REQUIRED YARDS

FRONT SIDE REAR

MAXIMUMS LOT COVERAGE

HEIGHT OF STRUCTURE

LANDSCAPE CATEGORY

SIGN CATEGORY

REQUIRED PARKING SPACES

USE ZONE CHART

Zone

Section

CBD-8

50.45.q

Stacked or Attached Dwelling Units
SEE SPEC. REG. 7

A.D.R. Chapter 142

None

0' See Spec. Reg. 2 and 3

0' 0' 0'

100%

66-foot above average building elevation or existing grade - See Special Regulations through:

D

A

1.7 per unit. See Section 60 of this Chapter.

SPECIAL REGULATIONS

1. The development of the subject property or adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter.
2. A minimum 20-foot front yard setback is required adjacent to:
a. Fourth Avenue between 2nd Street and 3rd Street;
b. Third Street, between 3rd Avenue and 4th Avenue;
c. Market Street.
3. The minimum required side and/or rear yard abutting the PR 3.8 and PLA 7A zones is 5 feet.
4. Height of structure may be measured above existing grade or average building elevation, but not both.
5. No portion of a structure within 100 feet of the PR 3.8, PLA 7A and PLA 7B zones located to the north of this zone may exceed 30 feet above the elevation of 2nd Street, 3rd Street, 4th Avenue between 1st Street and 3rd Street, 4th Avenue, or Market Street as measured at the midpoint of the frontage of the subject property on the applicable abutting right-of-way.
6. No portion of a structure within 40 feet of Central Way may exceed 30 feet above the elevation of Central Way as measured above the midpoint of the frontage of the subject property on Central Way.
7. Structures shall be restricted and terraced on the hillside in this zone. The tallest building forms shall be grouped towards the center of the subject property with lower components located towards the perimeter of the subject property.
8. The maximum height of structures on the subject property may be increased by 13 feet if the applicant provides adequate parking for uses in the GBB-1 or GBB-2 zones or makes a portion of the subject property or the proposed structure available for public parking. Any proposed increase in parking will be considered and decided upon as a Planned Unit Development, Chapter 125 of this Code. As part of the PUD process, the City will determine whether the public benefit derived from providing this additional parking is sufficient to allow the increase in height and building mass.
9. This use is not permitted on the street level floor adjacent to Central Way.
10. If the subject property abuts Third Avenue between First Street and Second Street, the site and buildings must be designed to provide residential character and scale adjacent to Third Avenue and Fourth Avenue.

30 feet above the elevation of 3rd Avenue or 4th Avenue as measured at the projected midpoint of the frontage of the subject property on the nearest applicable right-of-way. See Spec. Regs. 4, 5, and 6.

8, 9

2C-CBD8/12-27-04

REGULATIONS CONCLUDED ON NEXT PAGE

Revised 11/1/04, O-3438

For other information about parking and parking areas, see Chapter 105.
For details of the regulations in this category, see Chapter 100.
For information of the regulations in this category, see Chapter 95.
For details of what may exceed this height limit, see Chapter 116.
For details regarding required yards, see Chapter 115.

FOOTNOTES

PAGE 101Q

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

REGULATIONS	REVIEW PROCESS	MINIMUMS				MAXIMUMS			LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
		LOT SIZE	REQUIRED YARDS			LOT COVERAGE	HEIGHT OF STRUCTURE	LANDSCAPE CATEGORY				
			FRONT	SIDE	REAR							
USE Stacked or Attached Dwelling Units (continued)											Zone CBD-8	Section 50.45.r
<p>SPECIAL REGULATIONS</p> <p>10. <u>Site design must include installation of pedestrian linkages between public sidewalks and building entrances and between walkways on the subject property and existing or planned walkways on abutting properties consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan.</u></p> <p>11. <u>Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.</u></p> <p>4. <u>No portion of a structure shall exceed the height established by a 3:1 angle starting at a point 41' above the elevation of Central Way as measured at the projected midpoint of the subject property on Central Way and continuing to a point which intersects the established 30' height limit above 3rd Avenue or 4th Avenue.</u></p> <p>5. <u>For properties on the west side of 1st Street, the 30' height limit shall be measured above the midpoint of the intersection of 1st Street and 3rd Avenue. For properties with frontage on Market Street, the 30' height limit shall be measured above the midpoint of the subject property bordering the PR zone to the north.</u></p> <p>7. <u>This use may be located on the Central Way level of a building only if there is an intervening retail store front between this use and the right-of-way.</u></p> <p>12. <u>Ground floor porches and similar entry features may encroach into the front yard, provided the total horizontal dimension of such elements may not exceed 25% of the length of the facade of the structure.</u></p>												

Revised 4/93

For other information about parking and parking areas, see Chapter 105.
 For details of the regulations in this category, see Chapter 100.
 For information of the regulations in this category, see Chapter 95.
 For details of what may exceed this height limit, see Chapter 115.
 For details regarding required yards, see Chapter 115.

ZC-CBD895-3-93

USE REGULATIONS	DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS										USE ZONE CHART	
	REQUIRED REVIEW PROCESS	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS	Zone	Section
		LOT SIZE	REQUIRED YARDS			LOT COVERAGE					HEIGHT OF STRUCTURE	CBD-8
		FRONT	SIDE	REAR								
Public Utility, Government Facility, or Community Facility	A.D.R. Chapter 142	None	0' See Spec. Reg. 2	0' and 3	100%	52 feet above average building elevation or existing grade. See Special Regulations 4 through 8. Avenue or 4th Avenue as measured at the projected midpoint of the frontage of the subject property on the nearest applicable right-of-way. See Spec. Regs. 4, 5, AND 6	D See Special Reg. 1	B	See Section 105.25. See also Section 80 of the Chapter.	<ol style="list-style-type: none"> The development of the subject property or adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. A minimum 20-foot front yard setback is required adjacent to: <ol style="list-style-type: none"> Fourth Avenue between 2nd Street and 3rd Street; Third Street, between 3rd Avenue and 4th Avenue; Market Street. The minimum required side and/or rear yard abutting the PR 3.6 and PLA 7A zones is 5 feet. Height of structure may be measured above existing grade or average building elevation, but not both. No portion of a structure within 100 feet of the PR 3.6, PLA 7A and PLA 7B zones located to the north of this zone may exceed 30 feet above the elevation of 2nd Street, 3rd Street, 3rd Avenue, between 1st Street and 2nd Street, 4th Avenue, or Market Street as measured at the midpoint of the frontage of the subject property on the applicable abutting right-of-way. <u>THE MINIMUM HEIGHT OF A FACADE ALONG CENTRAL WAY IS 3 FEET</u> No portion of a structure within 40 feet of Central Way may exceed 30 feet above the elevation of Central Way as measured above the midpoint of the frontage of the subject property on Central Way. Structures shall be modulated and terraced on the hillside in this zone. The tallest building forms shall be grouped towards the center of the subject property with lower components located towards the perimeter of the subject property. The maximum height of structures on the subject property may be increased by 13 feet if the applicant provides subterranean parking for use in the CBD-1 or CBD-2 zones or makes a portion of the subject property or the proposed structure available for public parking. Any proposal under this paragraph will be reviewed and decided upon as a Planned Unit Development, Chapter 125 of this Code. As part of the PUD process, the City will determine whether the public benefit derived from providing this additional parking is sufficient to allow the increase in height and building mass. Landscape Category C is required if the subject property is adjacent to Planned Areas 7A or 7B, or PR 3.6 zones. Landscape Category A or B may be required depending on the type of use on the subject property and the impacts associated with the use on nearby uses. The site must be designed so that vehicles coming from and going to the site will be directed away from residential neighborhoods to the north of this zone. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property 		
						<p>4. <u>No portion of a structure shall exceed the height established by a 3:1 angle starting at a point 41' above the elevation of Central Way as measured at the projected midpoint of the subject property on Central Way and continuing to a point which intersects the established 30' height limit above 3rd Avenue or 4th Avenue.</u></p> <p>5. <u>For properties on the west side of 1st Street, the 30' height limit shall be measured above the midpoint of the intersection of 1st Street and 3rd Avenue. For properties with frontage on Market Street, the 30' height limit shall be measured above the midpoint of the subject property bordering the PR zone to the north.</u></p>						

ZC-CBD8/12-27-94

FOOTNOTES

- For other information about parking and parking areas, see Chapter 105.
- For details of the regulations in this category, see Chapter 100.
- For information of the regulations in this category, see Chapter 95.
- For details of what may exceed this height limit, see Chapter 115.
- For details regarding required yards, see Chapter 115.

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USE ZONE CHART

DIRECTIONS: FIRST, read down to find use... THEN, across for REGULATIONS

REGULATIONS	REQUIRED REVIEW PROCESS	MINIMUMS			MAXIMUMS		LANDSCAPE CATEGORY	SIGN CATEGORY	REQUIRED PARKING SPACES	SPECIAL REGULATIONS
		FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT OF STRUCTURE				
USE Public Transit Shelter	None	0	0	0	100%	15 feet above average building elevation.	-	See Spec. Reg. 2	None.	1. May be permitted only if it will not unreasonably impede pedestrian movement or create traffic safety problems. 2. May install transit route and information signs and markers.
Public Park	A.D.R. Chapter 142	Will be determined on a case-by-case basis.				60-foot above average building elevation. See Spec. Regulations 2 through 6. 30 feet above the elevation of 3rd Avenue or 4th Avenue as measured at the projected midpoint of the frontage of the subject property on the nearest applicable right-of-way. See Spec. Regs. 3, 7, 8, 9		B	See Section 105.25. See also Section 60 of this Chapter.	1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 85 of this Chapter. 2. Height of structure may be measured above existing grade or above average building elevation, but not both. 3. No portion of a structure within 100 feet of the RR 2-8, PL 74 and PL 76 zones located to the north of this zone may exceed 30 feet above the elevation of 2nd Street, 3rd Street, 4th Avenue, 5th Avenue, or Market Street as measured at the midpoint of the frontage of the subject property on the applicable existing right-of-way. 4. No portion of a structure within 40 feet of Central Way may exceed 30 feet above the elevation of Central Way, as measured above the midpoint of the frontage of the subject property on Central Way. 5. Structures shall be modeled and terraced on the hillside in this zone. The tallest building forms shall be grouped towards the center of the subject property with lower components located towards the perimeter of the subject property. 6. The maximum height of structures on the subject property may be increased by 10 feet if the applicant provides substantial parking for uses in the CBD-1 or CBD-2 zones or makes a portion of the subject property or proposed structure available for public parking. Any proposal under this paragraph will be reviewed and decided upon as a Planned Unit Development. Chapter 125 of this Code. As part of the PUD process, the City will determine whether the public benefit derived from providing this additional parking is sufficient to allow the increase in height and building mass. 7. The site must be designed so that vehicles coming from and going to the site will be directed away from residential neighborhoods to the north of this zone. 8. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property.

Revised 11/1/84, O-3438

For other information about parking and parking areas, see Chapter 105.
 For details of the regulations in this category, see Chapter 100.
 For information of the regulations in this category, see Chapter 95.
 For details of what may exceed this height limit, see Chapter 115.
 For details regarding required yards, see Chapter 115.

ZC-CBD8T12-27-84

FOOTNOTES

1. General

The provisions of this Section govern parking for uses in the CBD 1, 2, and 8 zones. To the extent that these provisions conflict with the provisions of Chapter 105, the provisions of this Section prevail. Where no conflict exists, the provisions of Chapter 105 apply to parking for uses in the CBD 1, 2, and 8 zones.

2. Number of Spaces

To the extent that paragraphs 3 and 4 of this Section require that uses in the CBD 1, 2, and 8 zones provide parking, the following establishes the number of spaces required:

- a. Residential uses must provide 1.7 parking spaces for each dwelling unit.
- b. Restaurants and taverns must provide one parking space for each 125 square feet of gross floor area.
- c. All other uses must provide one parking space for each 350 square feet of gross floor area.

3. Certain Floor Area Exempt from Parking Requirements

The following paragraphs establish several situations under which properties that are both within Local Improvement District 119 and the CBD 1, 2, and 8 zones are exempt in whole or in part from providing parking spaces:

- a. The owner need not increase the number of parking spaces for any floor area that existed prior to September 18, 1978, unless it is converted to a use requiring more parking spaces under paragraph 2 of this Section. If floor area is converted to a more parking intensive use, the owner has a parking obligation equal to the difference between the parking required for the former use and the parking required for the new use. Existing off-street parking provided for any use may not be reduced below the number required for that use based on paragraph 2 of this Section.
- b. The parking obligation of the subject property is reduced as follows:
 - 1) If new floor area was created or existing floor area converted to a more parking intensive use between September 20, 1976, and October 4, 1982, the number of stalls required for the subject property is reduced by the amount of the subject property's assessment under LID #119 divided by \$2,300.
 - 2) If new floor area is created or existing floor area is converted to a more parking intensive use after October 4, 1982, the number of stalls required for the subject property is reduced by the amount of the subject property's assessment under LID #119 divided by \$6,000.

August 1987 (Ordinance 3031)
February 1983 (Ordinance 2729)

50.62

BUILDING HEIGHT PROVISIONS IN THE CBD (NEW SECTION)

1. In cases where the height of structures is specified in number of stories, the following heights per story are allowed:
 - a. Ground floor retail; ground floor restaurant and tavern; ground floor entertainment/cultural and/or recreational facility shall be a minimum of 13' in height and a maximum of 15' in height.
 - b. Office; private club or lodge; church; private club or lodge; school, daycare center; public utility, government facility, or community facility; public park; ground floor of hotel or motel; retail above the ground floor shall be a maximum of 13'.
 - c. Residential; hotel or motel above the ground floor shall be a maximum of 10'.
2. To determine the allowed height of structure, determine the number of stories allowed in the use zone charts and apply the allowed height per story specified in Section 50.62.1. For example, if three stories are allowed and the proposed use is ground floor retail with two stories of residential above, the allowed height would be 35'.
3. Height shall be measured above the point of measurement (e.g. - above average building elevation, or above right-of-way) as specified in the particular use zone charts. For purposes of measuring building height above the abutting right-of-way(s), alleys shall be excluded.
4. In addition to the height exceptions established by Section 115.60 of this Code, the following exceptions to height regulations in CBD zones are established:
 - a. Decorative parapets may exceed the height limit by a maximum of 4 feet, provided that the average height of the parapet around the perimeter of the structure shall not exceed 2 feet.
 - b. For structures with a peaked roof, the peak may extend 8' above the height limit if the slope of the roof is equal or greater than four feet vertical to 12 feet horizontal.

50.65 DESIGN REGULATIONS FOR THE CENTRAL BUSINESS DISTRICT

- 50.65.1. **Introduction**
- a. General
 - b. Applicability
 - c. ADR Procedures
 - d. Landscaping
- 50.65.2. **Pedestrian-Oriented Elements**
- a. Installation of Sidewalks
 - b. Pedestrian Weather Protection
 - c. Access to Buildings
 - d. Pedestrian-Oriented Space and Plazas
 - e. Blank Wall Treatment
 - f. Treatment of Building Facades
 - g. Screening of Certain Areas
- 50.65.3. **Public Improvements and Site Features**
- a. Pedestrian-Oriented Elements Provisions Supersede
 - b. Required Major Pedestrian Pathways
 - c. Public Improvement and Site Feature Standards and Masterplan for Public Property
 - d. On-site Improvements
- 50.65.4. **Parking Area Location and Design**
- a. Location of Parking Lots
 - b. Parking Lot Entrances and Driveways
 - c. Pedestrian Access Within Parking Lots
 - d. Internal Parking Lot Landscaping
 - e. Perimeter Parking Lot Landscaping
 - f. Perimeter Parking Lot Landscaping - Adjacent Properties
 - g. Parking Garages
 - h. Miscellaneous Parking Area Design Details
- 50.65.5. **Scale**
- a. Techniques to Moderate Bulk and Mass
 - ~~a-~~ Achieving Human Scale
 - ~~b-~~ Techniques to Achieve Architectural Scale
- 50.65.6. **Building Material, Color and Detail**
- a. Required Elements
 - b. Prohibited Materials
 - c. Metal Siding
 - d. Concrete Block
 - e. Lighting of Awnings
 - f. Certain Signs Prohibited
 - g. Covering of Existing Facades
 - h. Building Cornerstone or Plaque
 - i. Building Corners

0-3609

50.65.1. Introduction

- a. General - This Section 50.65 establishes the design regulations that apply to development in the CBD. The remainder of this subsection 50.65.1 provides general information regarding the design regulations and their applicability in specific instances or to certain types of development in the CBD.
- b. Applicability - The provisions of this Section 50.65 apply to all new development within the CBD. The provisions of Chapter 142 and Chapter 162 of this Code regarding A.D.R. and Nonconformance establish which of the regulations of this Section 50.65 apply to developed sites within the CBD. Where provisions of this Section 50.65 conflict with provisions in any other section of the Code, this section prevails.
- c. A.D.R. Procedures - The City will use Chapter 142 of this Code to apply the regulations of this Section 50.65 to development activities that require A.D.R. approval. The City will use the Design Principles in the Comprehensive Plan to interpret how the regulations of this Section 50.65 apply to particular properties. In addition, the City shall determine, on a case-by-case basis as part of the A.D.R., whether, particular regulations of this Section 50.65 apply in a particular instance, based on the policy basis for the regulation as stated in the Downtown Plan Chapter of the Comprehensive Plan.
- d. Landscaping - Various places in this Section 50.65 require that landscaping be installed and maintained. The following provisions apply to the installation and maintenance of all landscaping installed under the provisions of this Section 50.65 unless otherwise specifically indicated:

- 1) At the time of planting, ^{including street trees} ~~deciduous trees~~ must be ^{3-4"} ~~2"~~ in diameter, as measured using the standard of the American Association of Nurserymen, and coniferous trees must be ~~5'~~ in height at the time of planting.
- 2) Shrubs must be ^{6'-8'} ~~18"~~ high at the time of planting.
- 3) Drought-tolerant plants are encouraged.
- 4) The City will review plant choice and specific plant location as part of the A.D.R. approval. Where appropriate, the City will apply the provisions of Section 95.20.2.c to require additional or more mature landscaping.

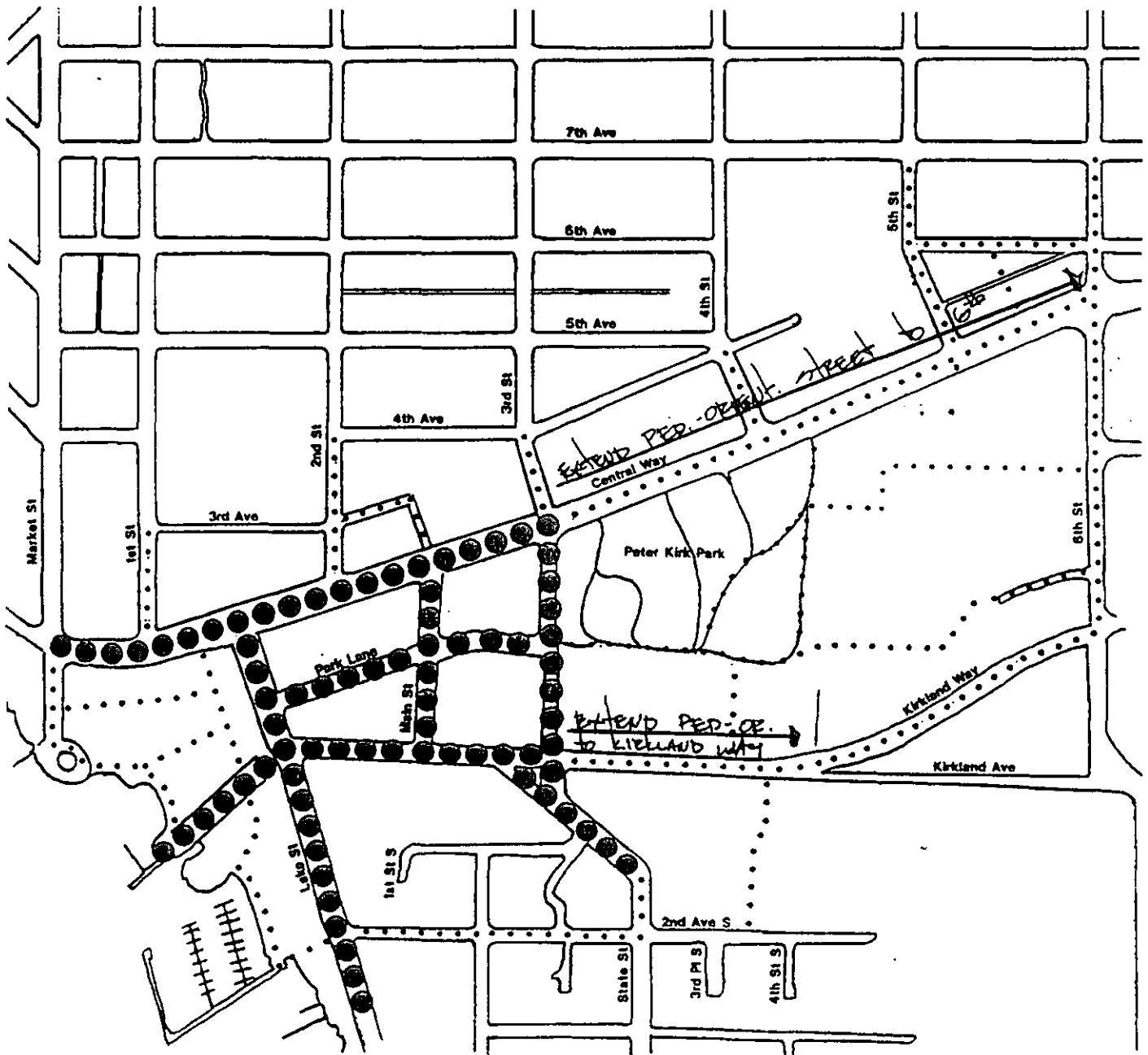
50.65.2. Pedestrian-Oriented Elements - This subsection contains regulations which require various pedestrian-oriented elements on or adjacent to the subject property within the CBD. (or as specified in the Public Improvement and Site Feature

- a. Installation of Sidewalks ^{Master Plan} - The applicant shall install a sidewalk constructed of concrete or unit pavers, at least 10' in width, along the entire frontage of the subject property adjacent to each *pedestrian-oriented street*. If the existing sidewalk is less than 10', the difference may be made up with a public easement over private property. Buildings may cantilever over such easement areas, flush with the property line.

See Figure 50.65.2.a. and b.

- b. Pedestrian Weather Protection - The applicant shall provide overhead weather protection, consistent with the following standards, along at least 80% of the frontage of the subject property on each *pedestrian-oriented street*.
- 1) The overhead weather protection may be composed of awnings, marquis, canopies or building overhangs;
 - 2) It must cover at least $\frac{5'}{9}$ of the width of the sidewalk; The width may vary (not less than 3') to accommodate street trees, street lights, etc.;
 - 3) The lowest element of the overhead weather protection must be at least 8' above the ground immediately below it;
 - 4) The City will specifically review and approve the color, material and configuration of all overhead weather protection as part of the A.D.R. decision. See also Section 50.65.6.e., Lighting of Awnings.
- c. Access to Buildings - All buildings on property abutting *pedestrian-oriented streets* must have direct access from the sidewalk of the *pedestrian-oriented street* to the main building entrance.
- d. Pedestrian-Oriented Space and Plazas - If the subject property abuts a *pedestrian-oriented street* or public park, the space, if any, between the sidewalk and the building must be developed consistent with the following criteria:
- 1) It must:
 - a) Enhance visual and pedestrian access, including handicapped access, onto the subject property from the sidewalk.
 - b) Contain paved walking surface of either concrete or approved unit pavers.
 - c) Contain on-site or building-mounted lighting which provides adequate illumination.
 - d) Contain two linear feet of seating area or one individual seat per 65 square feet of area between the sidewalk and the building.
 - e) Contain landscaping, such as trees, shrubs, trellises, or potted plants.

Pedestrian Circulation



Note:

The Lakefront Boardwalk (see Downtown Masterplan in Comprehensive Plan), may vary in width from the 8 feet required for major pedestrian pathways.



City of Kirkland
Design Guidelines



Pedestrian-oriented street



Major pedestrian pathway

FIGURE 50.65.2.A

Required Sidewalk on Pedestrian-Oriented Streets

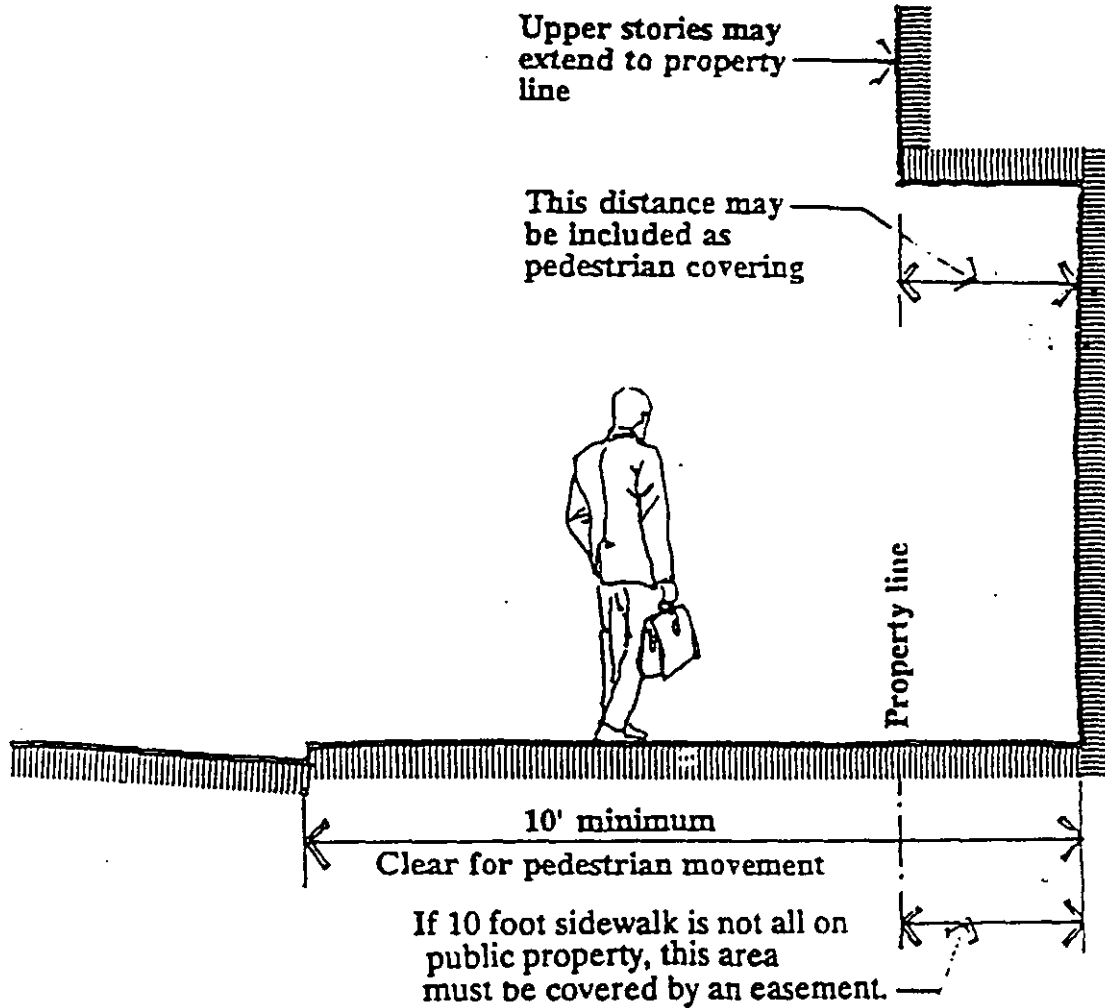


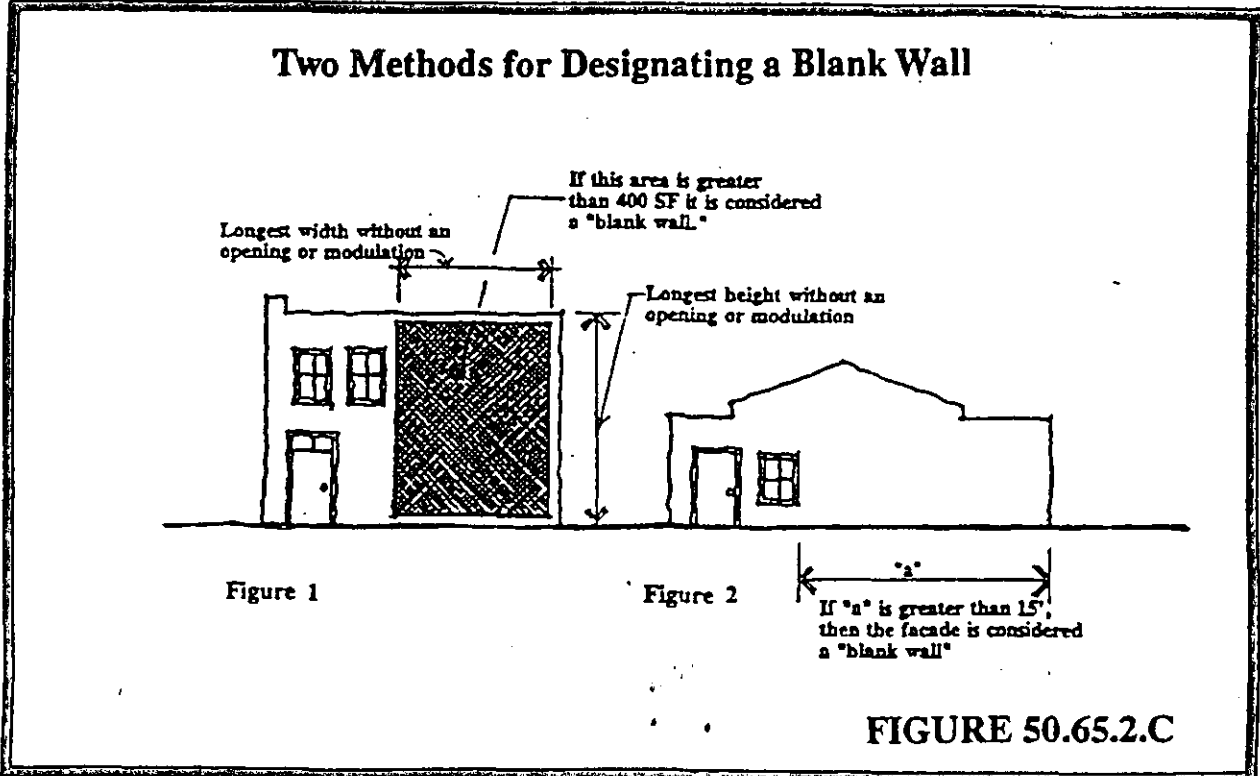
FIGURE 50.65.2.B

- 2) It may not include asphalt or gravel pavement or be adjacent to an unscreened parking area, a chain link fence or a blank wall which does not comply with the requirements of subsection 65.2.f. of this Chapter.

e. Blank Wall Treatment

- 1) Each wall or portion of a wall that is closer than 50' to any exterior property line of the subject property and is visible from any right-of-way must be screened or treated in at least one of the ways listed in subsection 65.2.e.3) of this Chapter if it meets the criteria for a blank wall under subsection 65.2.e.2) of this Chapter.
- 2) A blank wall is any wall or portion of a wall that meets either of the following criteria:
 - a) A wall or portion of a wall with a surface area of at least 400 square feet having both a length and a width of at least 10' without a window, door, building modulation at least 1' in depth or other architectural feature.
 - b) Any wall or portion of a wall between 4' and 13' above ground level with a horizontal dimension longer than 15' without a window, door, building modulation at least 1' in depth or other architectural feature.

See Figure 50.65.2.c.



- 3) At least one of the following techniques must be used to treat or screen blank walls:
 - a) By the installation of a vertical trellis with climbing vines or plant material in front of the blank wall.
 - b) By providing a landscaped planting bed at least 5' wide or a raised planter bed at least 2' high and 3' wide in front of the blank wall and planted with plant materials that will obscure or screen at least 50% of the blank wall within 2 years.
 - c) By providing artwork, such as mosaics, murals, sculptures or bas-relief on the blank wall.
- 4) The provisions of this subsection 65.2.e. of this Chapter may be modified or eliminated as part of the A.D.R. decision if they conflict with the Uniform Building Code.
- f. Treatment of Building Facades - Each facade of a building facing a *pedestrian-oriented street* or public park must contain or be treated with at least one of the following elements:
 - 1) It must contain transparent windows or window displays comprising at least 75% of the area of the facade between 2' and 7' above ground level. See Figure 50.65.2.d.

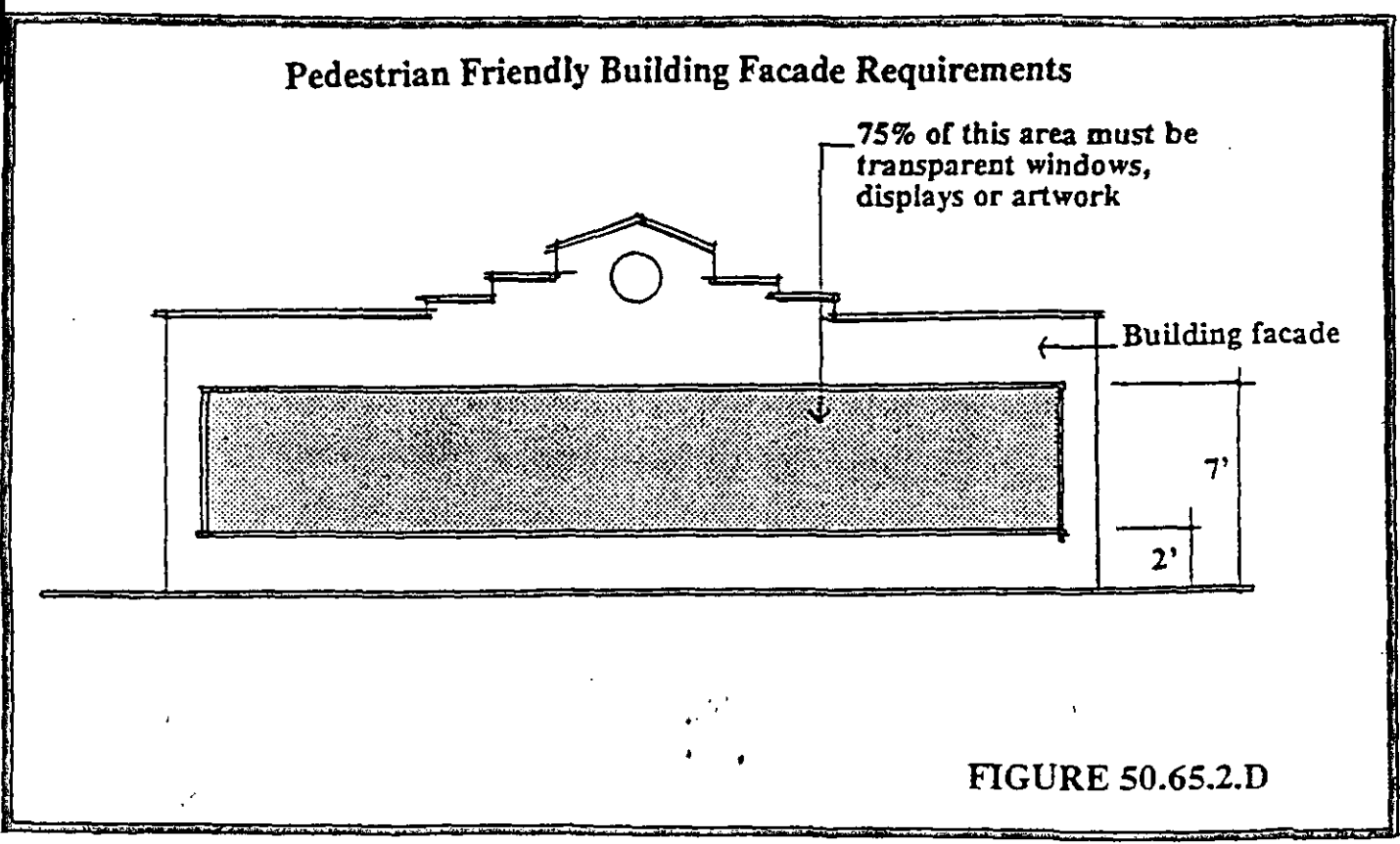


FIGURE 50.65.2.D

- 2) It must contain sculptural, mosaic or bas-relief artwork comprising at least 75% of the area of the facade between 2' and 7' above ground level. See Figure 50.65.2.d.
 - 3) The area next to the facade must be developed such that for every 10 linear feet of the facade, at least 20 square feet of this area must be developed with landscaping consistent with subsection 65.2.e.3)a) or 65.2.e.3)b) of this Chapter, depending on the location, dimensions, and size of the area.
- g. Screening of Certain Areas - All loading areas, service areas, outdoor storage areas of more than 100 square feet, areas containing waste storage and disposal facilities or containers and similar areas must be:
- 1) Located on the subject property so that they are not visible from any street or public park. If the City determines that this is not physically possible, then these areas must be screened from public view using a compact evergreen hedge, a solid wall or fence, or in a manner approved by the City as part of the A.D.R. decision.
 - 2) Screened from on-site ground floor uses using a compact evergreen hedge, a solid wall or fence, or in a manner approved by the City as part of the A.D.R. decision.

50.65.3. Public Improvements and Site Features - This subsection establishes the requirements for the installation of various site features and public improvements on and adjacent to the subject property in the CBD.

a. Pedestrian-Oriented Elements Provisions Supersede - If the provisions of subsections 65.3.b. and 65.2 of this Chapter both apply to improvements within and/or adjacent to a street, the provisions of subsection 65.2, and not subsection 65.3.b., must be followed.

b. Required Major Pedestrian Pathways - If the subject property abuts a street designated to contain a major pedestrian pathway on Figure 50.65.2.a, the applicant shall install that pathway on and/or adjacent to the subject property consistent with the following standards:

- 1) The major pedestrian pathways must be installed in the approximate location shown on Figure 50.65.2.a and make the connections shown on that figure.
- 2) The major pedestrian pathways must be paved with concrete or unit pavers and have a minimum width of at least 8', unless otherwise noted in Figure 50.65.2.a. If the existing sidewalk is less than 8', the difference may be made up with a public easement over private property.
- 3) The major pedestrian pathways must have adequate lighting with increased illumination around building entrances and transit stops.
- 4) If parcels are developed in aggregate, then alternative solutions may be proposed.

c. Public Improvement and Site Feature Standards and Masterplan for Public Property

1) The City Manager shall administratively adopt and publish public improvement and site feature standards for the placement, installation, construction and maintenance of the following features to be constructed on and adjacent to major pedestrian pathways, streets, alleys and public parks:

- a) Street trees and street tree grates.
- b) Landscape plant materials.
- c) Paving materials.
- d) Lighting fixtures for streets, pedestrian areas and special areas.
- e) Public signs.
- f) Benches and seating areas.
- g) Trash receptacles.
- h) Drinking fountains.
- i) Sidewalk Widths and Details

- 2. j) Bicycle racks.
- k. j) Bollards.
- l. k) Crosswalks.

Until the public improvement and site feature standards are adopted and published, the City shall, as part of the A.D.R. decision, specifically review and approve the placement, installation, construction and maintenance of these features.

- 2) The City shall adopt a masterplan for public spaces downtown. The masterplan shall discuss the placement of the features noted in Section 50.65.3.c.1), present a long range and coordinated plan for public property, and further implement the Downtown Plan Chapter of the Comprehensive Plan.
- 3) Once adopted and published, the City may allow departure from the public improvement and site feature standards or the masterplan as part of the A.D.R. approval where compliance with those standards or masterplan is not feasible or where major development warrants special design emphasis.

d. On-site Improvements

- 1) Mixed use centers, residential projects and office buildings shall provide bicycle racks which are conveniently located for bicyclist use and provide secure storage for bicycles.
- 2) Water spigots shall be provided on all building facades along sidewalks for cleaning and plant watering.

50.65.4. Parking Area Location and Design - This subsection regulates the location and design of, access for and other features of parking areas within the CBD.

Location of Parking Lots 1) Unless specified in the Public Improvement and Site Feature Masterplan, parking lots shall not be located between a pedestrian-oriented street and a building.

~~2.4) 2) Parking lots shall not be located between the street and the building on the subject property unless no other feasible alternative exists.~~

~~2) Parking lots within 20' of a pedestrian-oriented street or a public park must comply with the following standards:~~

~~a) If the subject property abuts one pedestrian-oriented street or public park, the maximum width of the parking lot within 20' of the pedestrian-oriented street or public park may not exceed the lesser of 61' or 75% of the frontage of the subject property. See Figure 50.65.4.a.~~

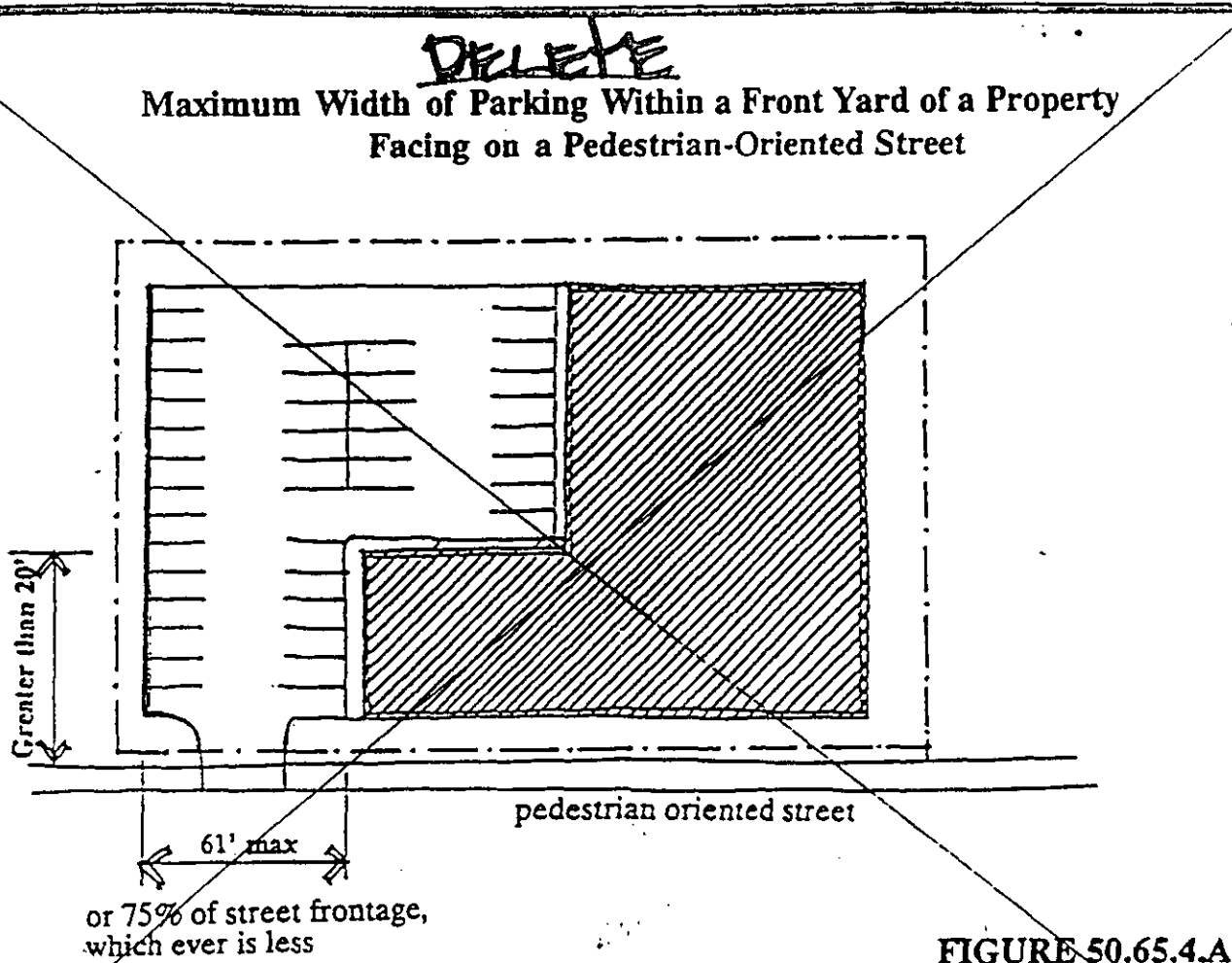


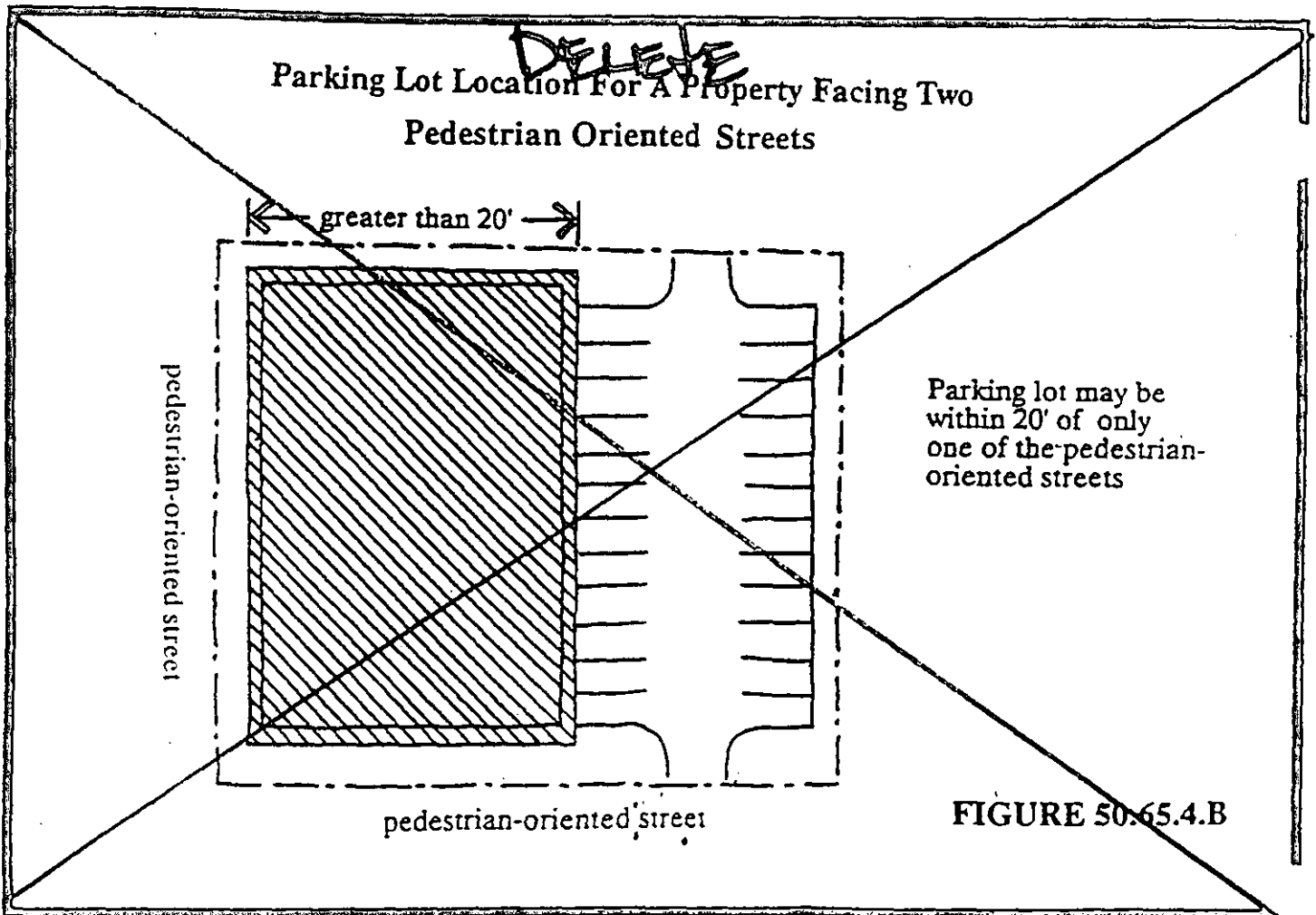
FIGURE 50.65.4.A

~~b) If the subject property abuts two or more pedestrian-oriented streets and/or public parks, the following regulations apply:~~

~~i. The parking lot may be within 20' of only one of the pedestrian-oriented streets or public parks as determined as part of the A.D.R. decision. See Figure 50.65.4.b.~~

~~ii. The maximum width of the parking lot within 20' of the pedestrian-oriented street or public park may not exceed the lesser of 61.0' or 75% of the frontage of the subject property adjacent to the pedestrian-oriented street or public park.~~

b. Parking Lot Entrances and Driveways - As part of A.D.R., the City may impose additional restrictions on the width, number and location of driveways to and from the subject property to improve vehicle circulation or public safety or to enhance pedestrian movement or desirable visual characteristics.



c. Pedestrian Access Within Parking Lots

- 1) Any property adjacent to a right-of-way or park must contain a pedestrian walkway from the right-of-way or park to the main entrance of the building, or to a central location if the building has multiple entrances, even if this pathway must cross a parking lot. The pathway should meet the following standards, as applicable, as determined through A.D.R.:
 - a) The walkway must be centrally located within the parking lot.
 - b) It must be delineated by painted markings, distinctive pavement, or by being raised 6" above the parking lot pavement.
 - c) It must be at least 5' wide.
 - d) The walkway must be handicapped accessible.

See Figure 50.65.4.c.

- 2) All parking lots which contain more than 25,000 square feet of paved area, including access lanes and driveways, must include clearly identified pedestrian routes from the parking stalls to the main building entrance or central location.

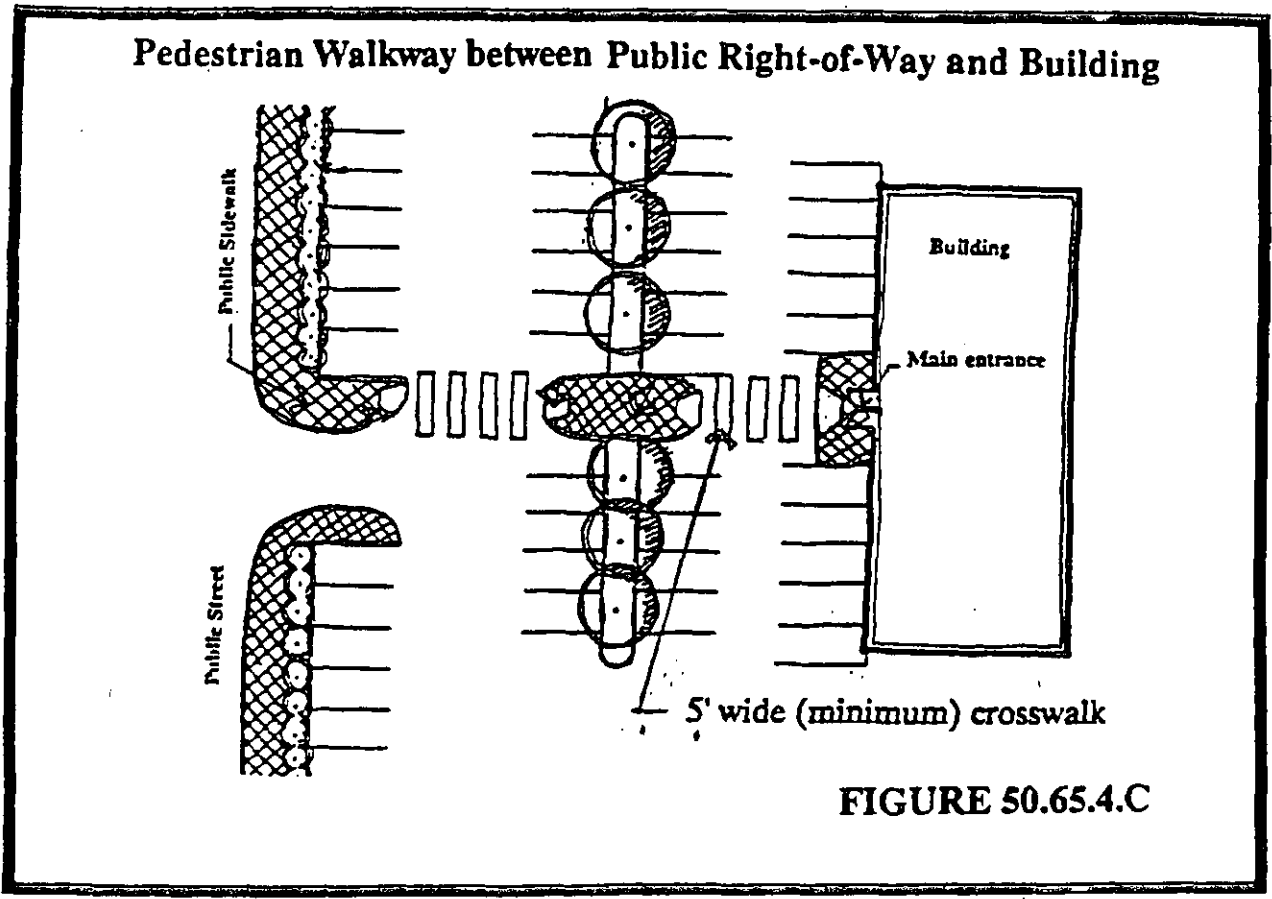


FIGURE 50.65.4.C

- 3) In addition to the walkways required under subsections 65.4.c.1) and 65.4.c.2), the applicant must provide a sidewalk, plaza or platform with an area of at least 175 square feet at the main building entrance or central location. This area must be raised at least 6" above the parking lot surface and must be paved with concrete or unit pavers.
 - 4) Convenient pedestrian access must be provided on the subject property to adjacent properties. Impenetrable barriers which will limit future pedestrian access are not permitted.
- d. Internal Parking Lot Landscaping - The following provisions apply to each parking lot or portion thereof containing more than 14 parking stalls within 100' of a street or public park. The provisions do not apply to parking lots that are not visible from a street or public park.
- 1) The parking lot must contain 25 square feet of landscape area per parking stall planted as follows:
 - a) At least one tree for every 6 parking stalls.
 - b) At least 1 shrub for every 20 square feet of landscaped area. Up to 50% of the shrubs may be deciduous.
 - c) Ground cover shall be selected and planted to achieve 90% coverage within 2 years.
 - d) The location of the landscaping will be reviewed through A.D.R.
 - 2) As part of the A.D.R., the City may require or permit a modification to the provision of subsection 65.4.d.1) of this Chapter to use existing vegetation for internal parking lot landscaping.
- See Figure 50.65.4.d.
- e. Perimeter Parking Lot Landscaping - Each side of a parking lot which abuts a street or public park must be screened from that street or public park using one or a combination of the following methods:
- 1) By installation of a compact evergreen hedge or wall consistent with the following standards (as applicable):
 - a) The hedge or wall must extend at least 2'6" and not more than 3' above the ground directly below it.
 - b) The wall may be constructed of masonry or concrete, if consistent with the provisions of subsection 65.6.7)a) of this Chapter, or of wood if the design and materials match the building on the subject property.

Internal Parking Lot Landscaping

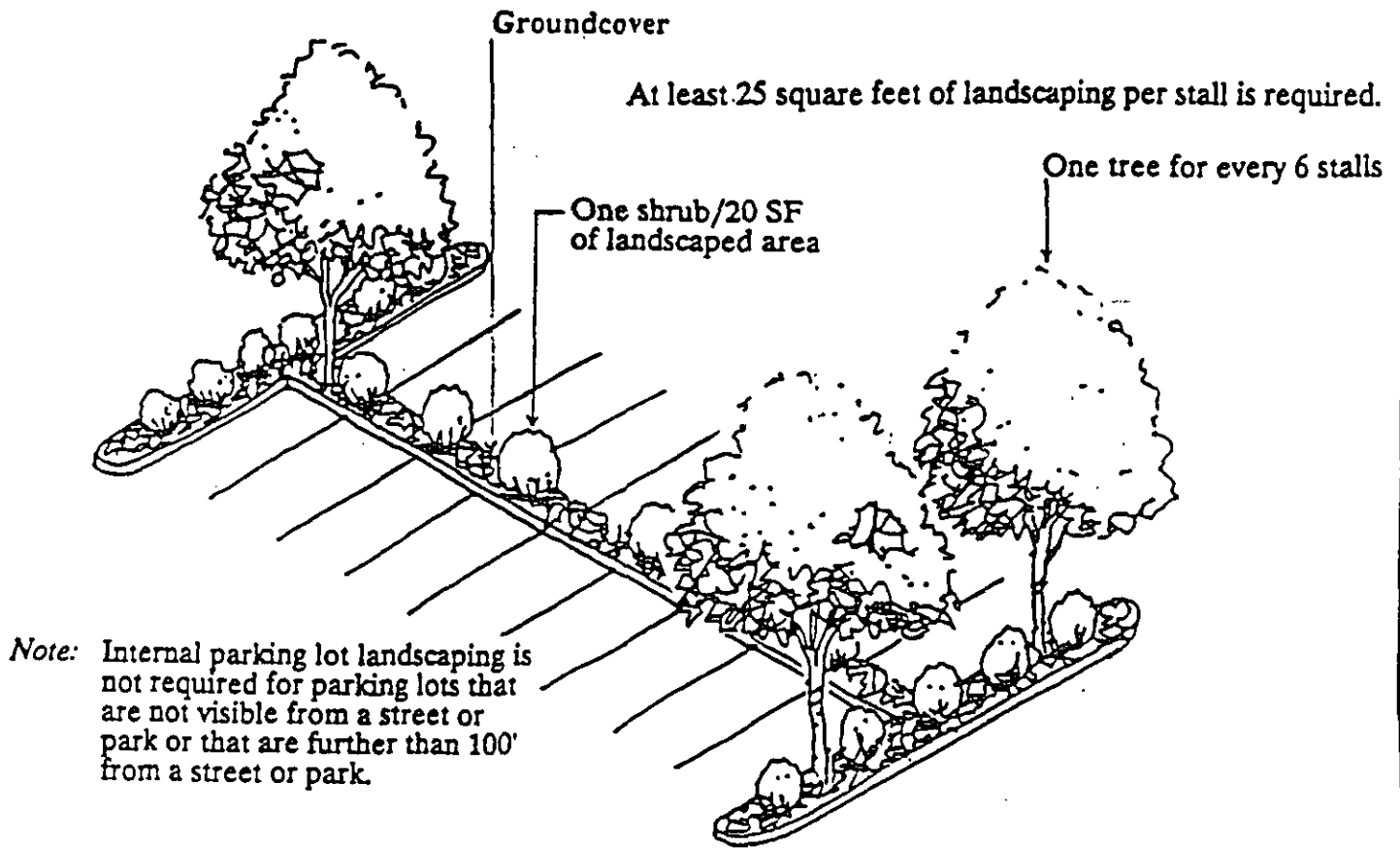
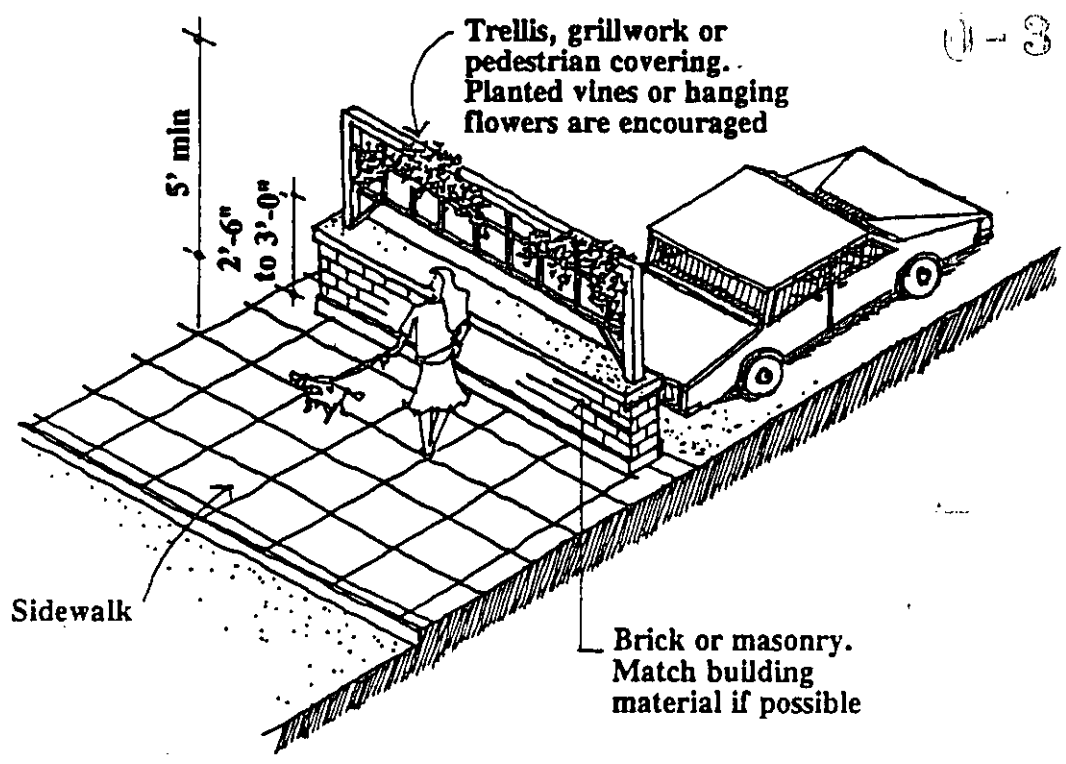


FIGURE 50.65.4.D

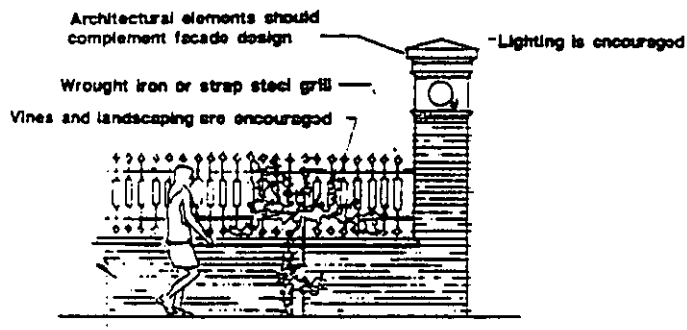
- ~~e) If the street is a pedestrian-oriented street, the wall may also include a continuous trellis or grillwork, at least 5' in height above the ground, placed on top of or in front of the wall and planted with climbing vines consistent with subsection 65.1.d. of this Chapter. The trellis or grillwork may be constructed of masonry, steel, cast iron and/or wood. See Figure 50.65.4.e.~~
- ~~d) If the wall abuts a pedestrian-oriented street, the requirements of this paragraph may be fulfilled by providing pedestrian weather protection consistent with subsection 65.2.b. of this Chapter.~~
- 2) By providing a landscaped strip, consistent with subsection 65.1.d. of this Chapter, at least 5' wide planted as follows:
 - a) Trees planted 30' or closer on center.
 - b) At least one shrub for every 20 square feet of landscaped strip.

Constructed Screen Wall Option for Perimeter Landscaping

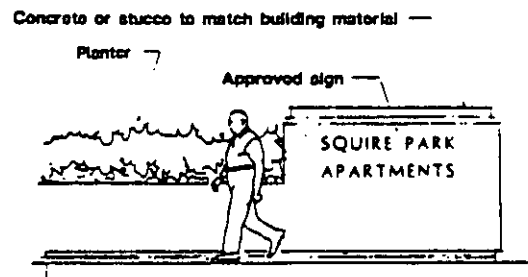
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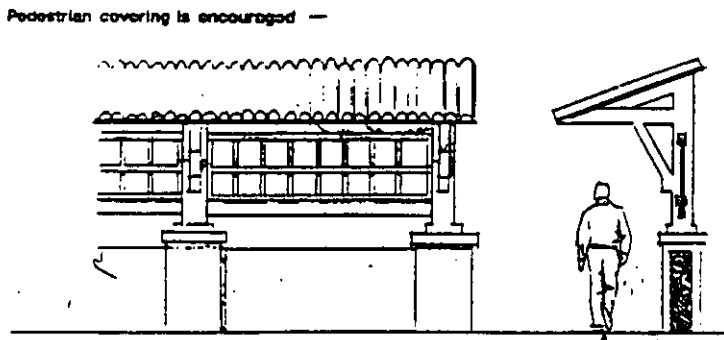
Examples of Various Screen Wall Designs



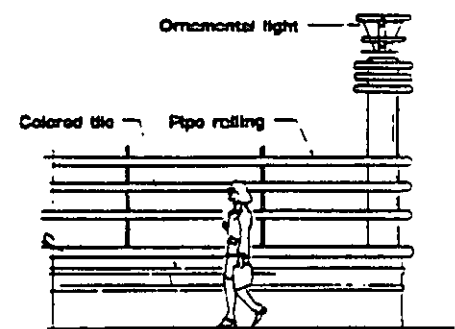
Traditional



Contemporary



Mission Style with Canopy



Deco-Moderne Style

FIGURE 50.65.4.E

- c) Ground cover selected and planted to achieve 90% coverage of the remaining landscaped strip within 2 years.

See Figure 50.65.4.f.

- 3) As part of A.D.R., the City may require or permit a modification to the provision of subsection 65.4.e)2) of this Chapter to use existing vegetation for perimeter parking lot landscaping.
- f. Perimeter Parking Lot Landscaping - Adjacent Properties - Each side of the perimeter of a parking lot which contains more than 14 parking stalls, which is within 10' of any adjacent property and which is not regulated under the provisions of subsection 65.4.e. of this Chapter, shall be screened using a combination of the following methods:
 - 1) By installing a solid, continuous fence or wall at least 5' in height constructed of wood and/or masonry.
 - 2) By installing a compact evergreen hedge designed to reach at least 5' in height.

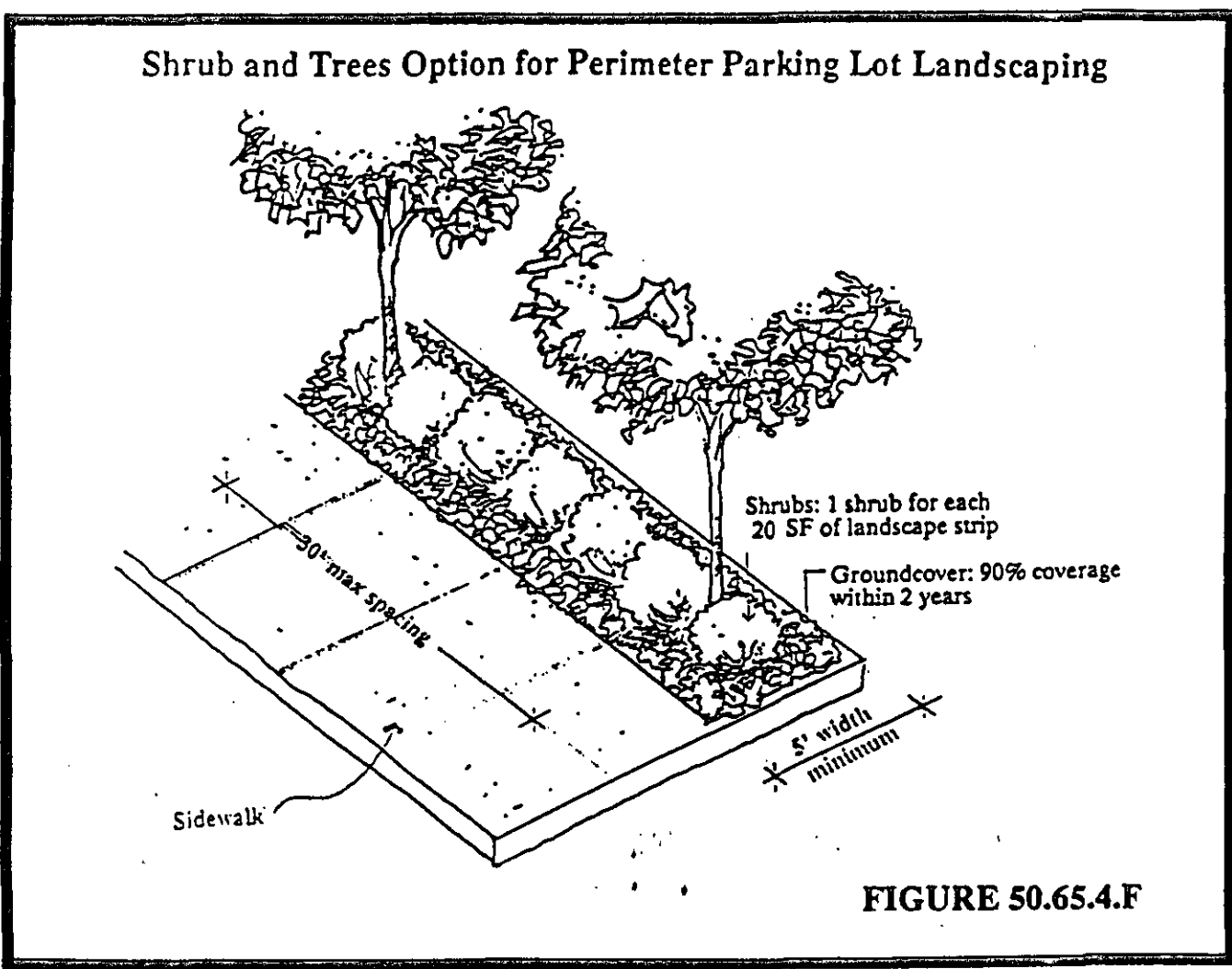


FIGURE 50.65.4.F

As part of A.D.R., the City may require or permit a modification to the provision of this subsection 65.4.f. for any side of the parking lot which abuts or is connected to a parking lot on an adjacent property if the parking lots have internal vehicular connections.

g. Parking Garages

- 1) Each facade of a garage or a building containing ground floor parking that is within 10' of a *pedestrian-oriented street* or public park must be separated from the sidewalk or public park by one or a combination of the following methods:
 - a) By providing and maintaining a ground floor area of the garage or building extending along the entire facade of the garage or building (excluding vehicle access points) which is developed as and made available for pedestrian-oriented businesses. See Figure 50.65.4.g.

Providing Space for Pedestrian-Oriented Business along Parking Garage Frontage Facing Pedestrian-Oriented Street

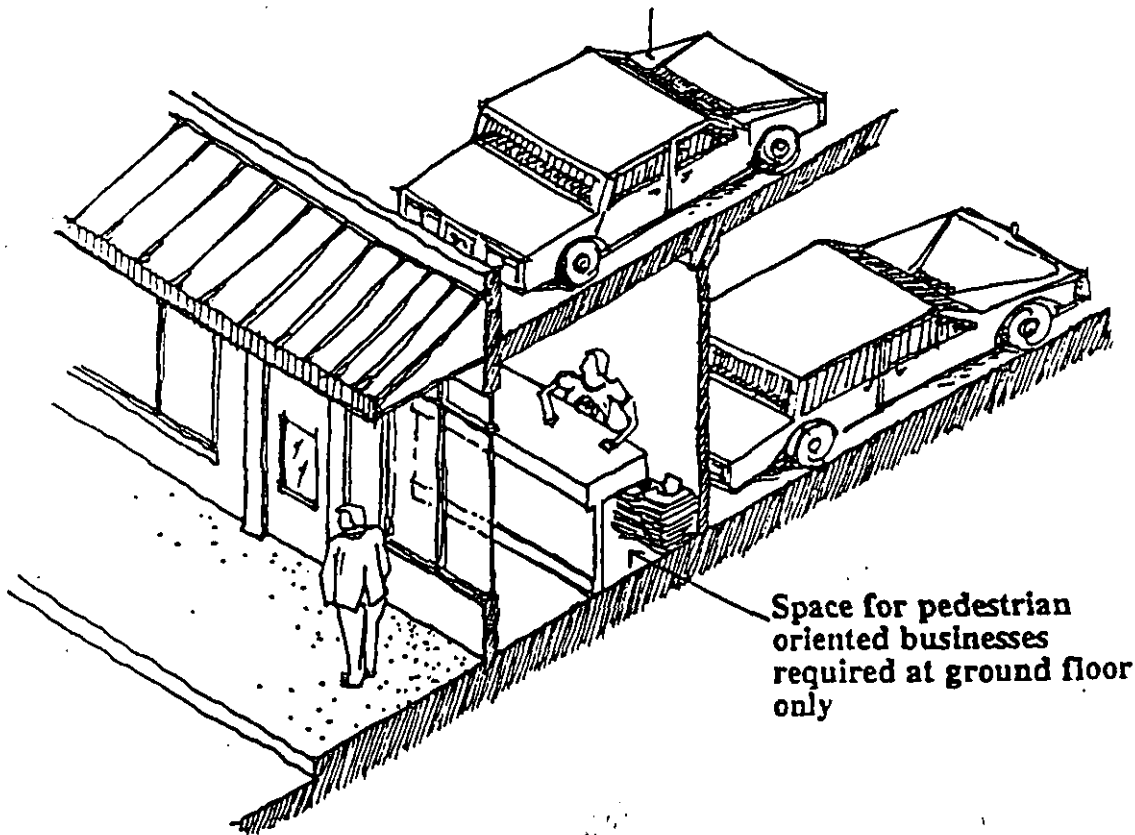


FIGURE 50.65.4.G

- b) By providing and maintaining a pedestrian-oriented space, consistent within the standards of subsection 65.2.d. of this Chapter, at least 10' in depth and extending along the entire facade of the garage or building (excluding vehicle access points).
 - c) By treating the facade consistent with subsection 65.2.f.1), 2) or 3).
- 2) Each side of a garage or building containing ground-floor parking, other than as regulated in subsection 65.4.g.1) of this Chapter, must either:
- a) Be screened with a landscaped strip 10' in depth along the entire facade of the garage or building (excluding vehicle access points), consistent with subsection 65.1.d of this Chapter, and planted as follows:
 - o Trees planted 15' on-center or closer.
 - o At least one shrub for each 20 square feet of landscaped strip.
 - o Ground cover selected and planted to achieve 90% coverage within 2 years.

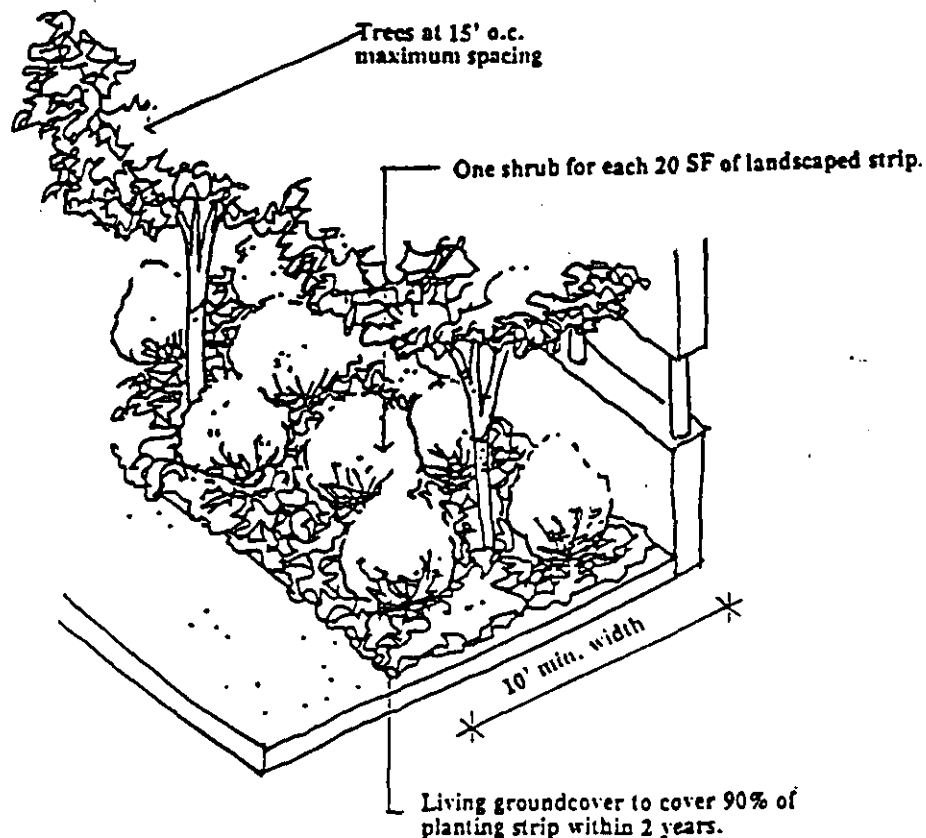
See Figure 50.65.4.h., or

- b) Be treated consistent with subsection 65.2.f.1), 2) or 3).
- 3) There must be architectural screening or other treatment of openings above the ground level for the facades of parking garages along *pedestrian-oriented streets*.
- 4) All parking garages and parking within a structure must contain--
- a) Designated pedestrian pathways, that do not use vehicle entrance or exit driveways, from the parking area to a public right-of-way; and
 - b) Designated pedestrian pathways from the parking spaces to the pedestrian entrance to the building served by the parking.

h. Miscellaneous Parking Area Design Details

- 1) All parking areas must have adequate lighting. Lights in parking lots must be non-glare and must be mounted no more than 20' above the ground.
- 2) All landscape and pedestrian areas shall be protected from encroachment by parked cars. At a minimum, the parking area must be designed and constructed so that car wheels are kept at least 2' from landscape and pedestrian areas.

Minimum Landscaping Standards for Parking Garages



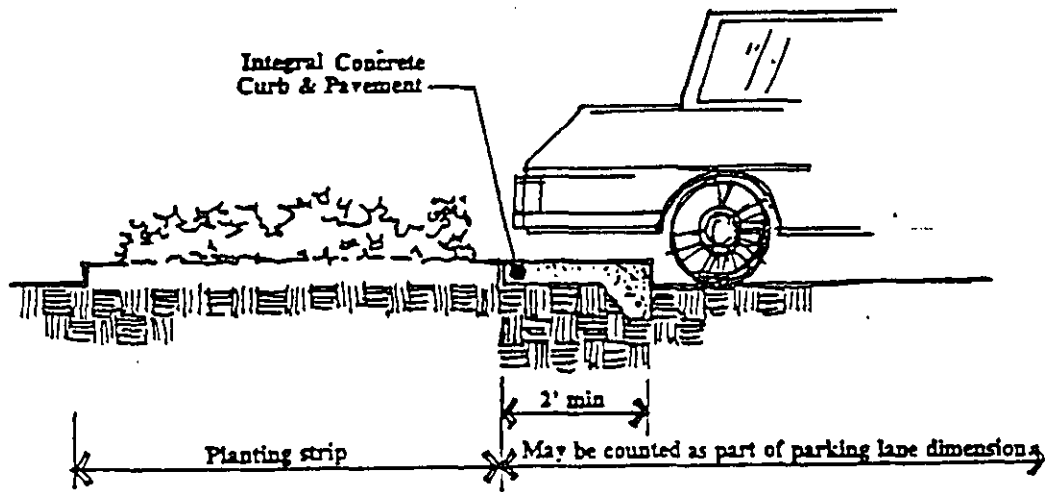
Note: Space for pedestrian-oriented business or open space, or facade treatment may be substituted for landscaping.

FIGURE 50.65.4.H

Freestanding wheel-stop bumpers must be replaced or repaired if cracked or broken. See Figure 50.65.4.i.

- 3) No freestanding or wall-mounted signs for individual parking spaces are permitted to extend more than 3' above the ground. Provisions in the UBC for handicapped stalls supersede this requirement.
- 4) Moveable parking area equipment, such as barrels and sawhorses, may not be visible from a street when not in use. Parking areas and accessory components, areas and facilities must be well maintained and kept in a clean, neat and litter-free manner at all times.

Extended Curb used to Protect Landscape Strip



Note: This method is preferable to freestanding wheel-stop bumpers because it will not catch debris and is more durable.

FIGURE 50.65.4.I

50.65.5.

Scale

a.

Techniques to Moderate Bulk and Mass (SEE ATTACHED TEXT)

b. -a-

Achieving Human Scale

1) General

- a) Except as provided in subsection 65.5.a.1)b) of this Chapter, the applicant shall use at least two of the elements or techniques listed in subsection 65.5.a.2) of this Chapter in the design and construction of each facade of a building *facing a street or public park*.
- b) The applicant shall use at least three of the elements or techniques listed in subsection 65.5.a.2) of this Chapter in the design and construction of any facade of a building *facing a street or public park*, if:
 - i. The facade has a height of 3 or more stories; or
 - ii. The facade is more than 100' long.

2) Techniques to Achieve Human Scale - The techniques to be used in the design and construction of building facades under subsection 65.5.a.1) of this Chapter are listed below. As an alternative, the applicant may propose other techniques, elements or methods which provide human scale to the building and are consistent with the applicable design principles in the Downtown Plan Chapter of the Comprehensive Plan.

- a) On each story above the ground floor, provide at least one balcony or deck, at least 6' wide and 6' deep.
- b) On each story above the ground floor, provide at least one bay window that extends out at least 1', measured horizontally, from each facade of the building.
- c) Provide at least 150 square feet of pedestrian-oriented space that meets the criteria of subsection 65.2.d. of this Chapter in front of each facade.
- d) Provide at least 1/2 of the window area above the ground floor of each facade consistent with all of the following criteria:
 - i. The windows must have glazed areas with dimensions less than 5' by 7'. See Figure 50.65.5.a.
 - ii. The windows must be surrounded by trim, molding and/or sill at least 2" wide. See Figure 50.65.5.a.
 - iii. Individual window units must be separated from adjacent window units by at least 6" of siding or other exterior finish material of the building.
- e) Provide at least 1/2 of the window area above the ground floor of each facade facing a street or public park in panes with dimensions less than 2'

Dimensions For the Individual Windows Option to Meet the Human Scale Requirement

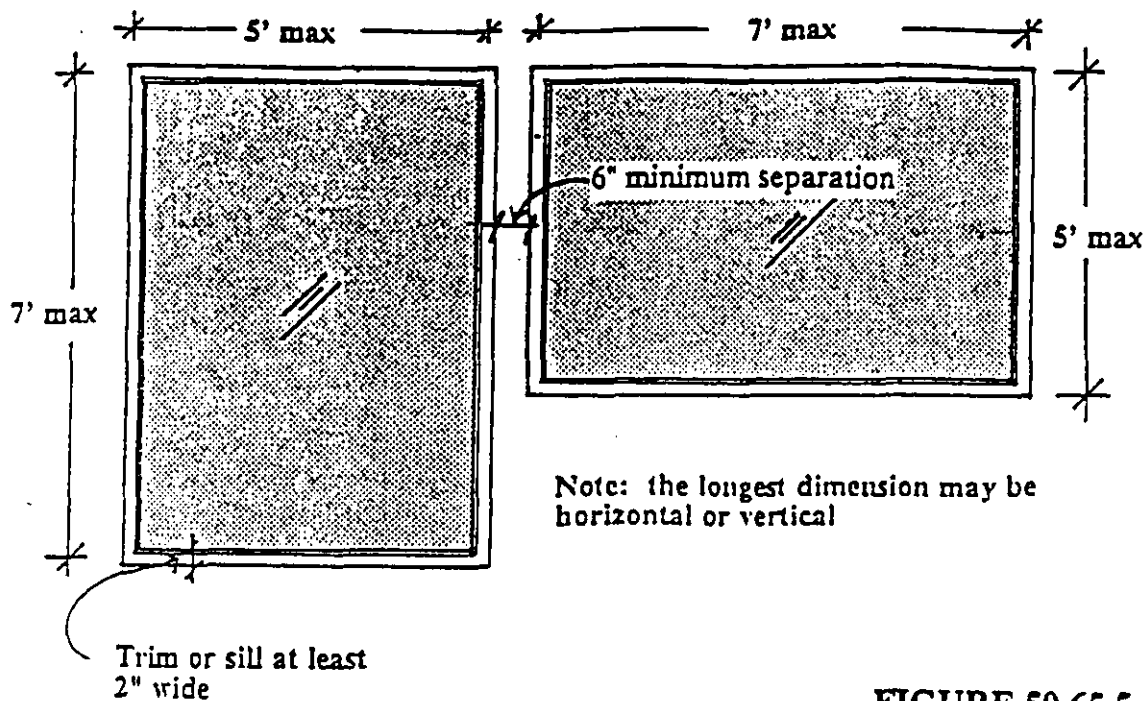
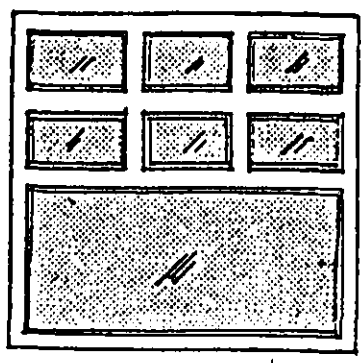
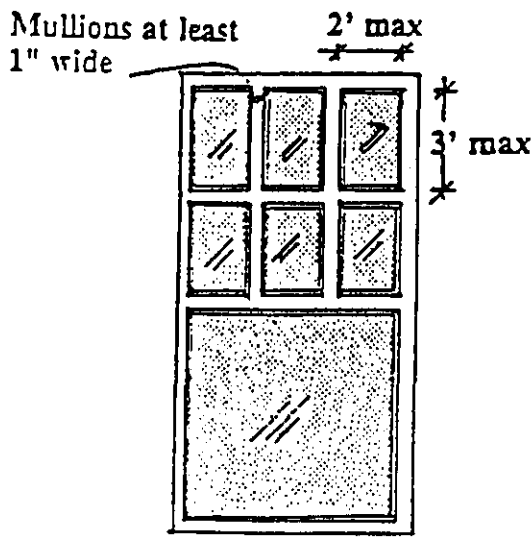


FIGURE 50.65.5.A

by 3' and with individual panes separated by window mullions. See Figure 50.65.5.b.

- f) Provide a hipped or gable roof which covers at least 1/2 of the building footprint and has a slope equal to or greater than 3' vertical to 12' horizontal.
- g) If the main entrance of the building is on the facade of the building facing a street or public park, provide a covered porch or entry on the subject property at the building's main entrance. Pedestrian weather protection required under subsection 65.2.b. of this Chapter may not be used to meet this requirement unless the required pedestrian weather protection covers an area at least 15' long by 15' wide and is available for outdoor display or outdoor vendors or contains pedestrian-oriented improvements or amenities beyond what is otherwise required.
- h) Provide one or more stories above the ground floor setback at least 6' from the ground floor facade facing the street or public park.

Multiple Paned Fenestration Option to Meet the Human Scale Requirement



Up to 50% of the glass area may be composed of larger panes

FIGURE 50.65.5.B

c. b. Techniques to Achieve Architectural Scale - The applicant shall use at least two of the following elements and features in the design and construction of all buildings in the CBD that are 3 or more stories or have a building footprint of more than 10,000 square feet. As an alternative, the applicant may propose slight variations from the required dimensions noted in the following techniques, or other methods to comply with the requirements of this subsection 5.b. The City may approve the proposal if it is consistent with the Downtown Plan Chapter of the Comprehensive Plan.

- 1) All stories above the second story must be set back at least 10' from the ground floor facade along at least 2 facades of the building.
- 2) On all building facades, which are visible from a street or public park, provide horizontal modulation consistent with all of the following standards:
 - of the exterior wall
 - a) The maximum allowable horizontal dimension of the facade between modulations is 40', 70'
 - b) The minimum depth of each modulation, except balconies, is 10'; and
 - c) The minimum width of each modulation, except balconies, is 15'.

- 3) On all building facades which are visible from a street or public park, provide balconies which are consistent with the following standards:
- a) Balconies must be placed on at least every other floor above the ground floor.
 - b) The maximum distance between balconies, measured horizontally, is 100';
 - c) The minimum amount of floor area for each balcony is 100 square feet; and
- 4) Provide vertical modulation of the roof line of all facades of the building adjoining a street or public park. For buildings with flat, gabled, hipped or similar roofs, the maximum length of any continuous roof line, with a slope of less than 3' vertical to 12' horizontal, is 50' without being modulated. If modulation is necessary, at least one of the following methods must be used:
- a) The height of the visible roof line must change at least 8' if the adjacent roof segments are less than 50' in length.
 - b) The height of the visible roof line must change at least 12' if the adjacent roof segments are greater than 50' in length.
 - c) The length of a sloped or gabled roof line segment must be at least 20'. The minimum slope of the roof segment is 3' vertical to 12' horizontal.

See Figure 50.65.5.d.

- 5) Buildings with other roof forms, such as arched, gabled, vaulted, domered or sawtooth must have a significant change in slope or significant change in roof line at least every 100'.

Flat Roof Modulation Options

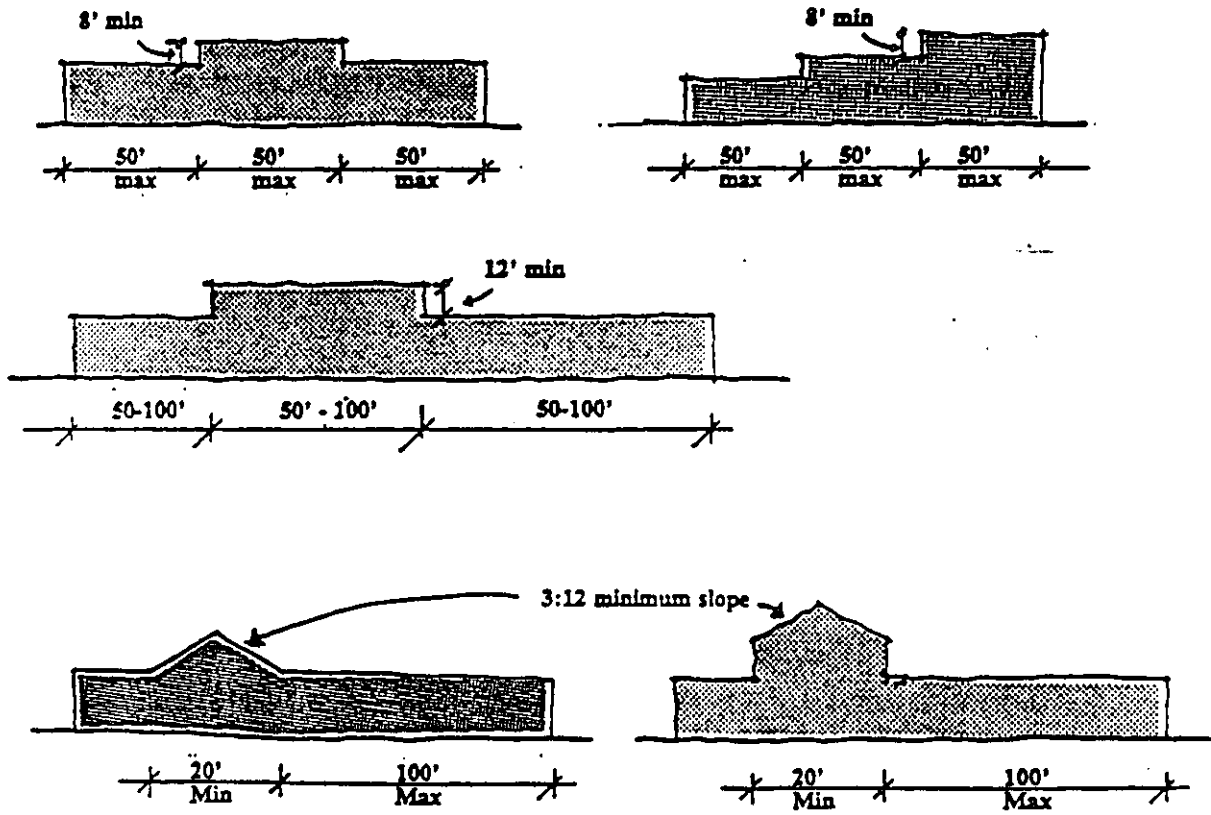


FIGURE 50.65.5.D

50.65.6. Building Material, Color and Detail

a. Required Elements - The applicant shall incorporate at least three of the following elements on each facade of a building that faces a street or public park. As an alternative, the applicant may propose other mechanisms for providing interesting visual detail to buildings, consistent with the Building Detail Principles in the CBD portion of the Comprehensive Plan.

- 1) Decorative roof lines, including ornamental molding, frieze or other roof line devices visible from the ground. Linear features must be at least 8" wide, measured vertically.
- 2) Decorative molding or framing details around all ground floor doors and windows. The molding or trim may have a traditional, contemporary, geometric or sculptural design.
- 3) Decorative glazing on all ground floor doors and windows, including stained glass, crystal cut glass, etched glass or similar individualized and permanent treatment, but excluding single colored glass, opaque glass or plastic. On all ground floor windows, this decorative glazing must have a surface area of at least 30 square feet.
- 4) Railings, grill work, landscape guards or other similar elements which include materials, design, configuration, embellishment or workmanship that exceeds the normal functional requirements for the element.
- 5) Trellises or arbors having an area of at least 100 square feet and planted, consistent with the requirements of subsection 65.1.d. of this Chapter, to achieve at least 30% coverage of the trellis or arbor with plant material within three years.
- 6) Decorative light fixture or fixtures, either one if one-of-a-kind or custom built or one every 30' along the facade of the building if not one-of-a-kind or custom built, that meet either of the following criteria:
 - a) Includes a diffuse, visible light source, such as a globe.
 - b) Contains a shade or mounting that includes some use of material, configuration, shape, embellishment or detail that exceeds the normal functional requirement for the shade or mounting.
- 7) Use of any of the following decorative materials:
 - a) Any of the following decorative masonry elements:
 - i. Decorative masonry patterns, other than running bond pattern.
 - ii. Bricks, tile, stone, cast stone or other masonry units of at least two colors installed in layers or tiers to form a geometric pattern.
 - iii. Decorative bands of masonry, such as a soldier course of brick or multi-colored ceramic tile band, in conjunction with another exterior surface material.

- 0 2 6 0 0
- b) Individualized wood patterns or continuous wood details, such as fancy butt shingles in a geometric pattern, decorative moldings, brackets, eave trim or lattice work.
 - c) Ceramic tile, stone, glass blocks, camera glass or other similar materials incorporated into other compatible surface materials and used to form or create, or in conjunction with, a geometric pattern, distinctive shape, unusual surface treatment, special lighting or other decorative or textural element.
 - d) Other materials with decorative or textural qualities, as demonstrated by architectural drawings and material samples, approved by the City as part of A.D.R.
- 8) Decorative unit paving, including at least 50 square feet of multi-colored tile, paver blocks, brick or other paving material in a decorative pattern, installed in a pedestrian-circulation area adjacent to the facade.
- 9) Artwork in the form of a mosaic mural, bas-relief sculpture, light sculpture, water sculpture, fountain, free-standing sculpture, art in pavement, murals, graphics or other forms, either free standing in front of the facade or attached to the facade.
- b. Prohibited Materials - The following materials may not be used on any exterior surface which is visible from any area beyond the subject property:
- 1) Mirrored glass.
 - 2) Corrugated fiberglass.
 - 3) Chain link fencing, except for temporary purposes, such as during construction.
- c. Metal Siding - Corner and edge trim must be used to cover exposed edges of metal siding. If metal siding covers more than 25% of a building's facade, the following regulations apply:
- 1) The siding must have a matted finish.
 - 2) The siding must be in a neutral, earth tone or dulled color such as buff, grey, beige, tan, creme, white, barn-red, blue-grey, burgundy or ocher.
 - 3) The facade must have visible window and door trim painted or finished in a color which is complementary to the siding color.
- d. Concrete Block - Any concrete block, masonry unit or cinder block wall which is visible from a street or public park must contain one or more of the following features or elements:

- 2) Al or plastic awnings and awnings used predominantly for advertising are discouraged
- 3) Steel and glass, fabric, and other materials of a more permanent nature are encouraged.
The design of awnings should complement the architecture of the building.

- 1) Use of textured blocks with surfaces such as split faced or grooved.
- 2) Use of colored mortar complementary to the color of the blocks.
- 3) Use of other surface material such as bricks, glass blocks or tile as a significant feature of the wall.

e. ~~Lighting of Awnings~~ ^D Translucent awnings shall not be back-lit. Lights directed downward mounted from internal awning frames are permitted. Lights mounted above awnings and directed downward are permitted.

f. Certain Signs Prohibited - Signs with an internal light source and a sign face constructed of plastic or similar material are prohibited.

g. Covering of Existing Facades - Existing brick or cast stone masonry facades may not be covered with metal siding, metal screening, plastic siding, fiberglass siding, plywood siding, or wood siding materials. Other existing facades may be covered if consistent with the provisions of this Subsection 50.65.6. As part of A.D.R.-for remodels, the City may require the removal of coverings.

h. Building Cornerstone or Plaque - All commercial buildings designed for use by more than one tenant must have a building cornerstone or plaque, placed in a prominent location, consistent with the following standards:

- 1) Building cornerstones must be constructed in carved stone, cast stone, carved masonry, terra cotta or other vandal-resistant material.
- 2) Building plaques must be mounted no lower than 2' and no higher than 10' above ground and must be made of bronze, brass, anodized aluminum, porcelain enamel covered steel or aluminum or other corrosion resistant material.
- 3) Building cornerstones and plaques must indicate the name of the building and, if known, the date of construction and architect.
- 4) Building cornerstones and plaques may include the owner's name and other historical information.

i. Building Corners - If the subject property is adjacent to the intersection of two streets, at least one of which is a *pedestrian-oriented street*, the applicant shall use one or more of the following elements or treatments in the design and construction of the corner of the building facing the intersection of the streets which includes the *pedestrian-oriented street*. As an alternative, the applicant may propose other techniques, elements or treatments in the design of the corner which are consistent with the applicable design principles in the Downtown Plan chapter of the Comprehensive Plan.

- 1) Provide at least 100 square feet of sidewalk area or pedestrian-oriented open space, in addition to the area required to produce a 10' wide sidewalk as required under subsection 65.2.a of this Chapter. See Figure 50.65.6.a.

Options for Corner Setback Configurations

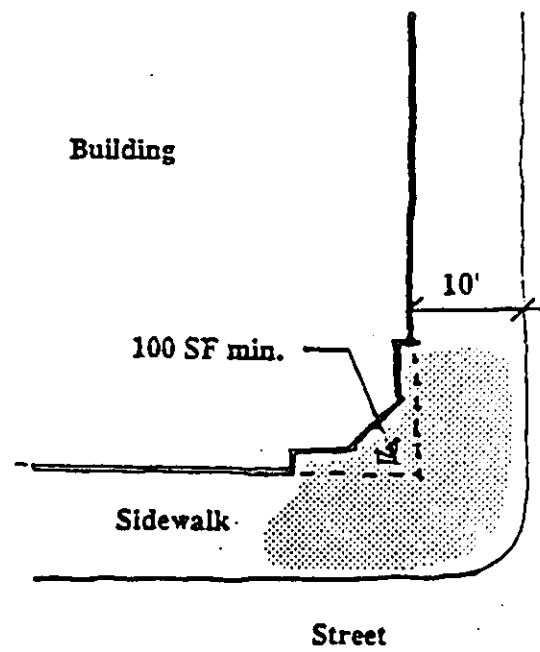
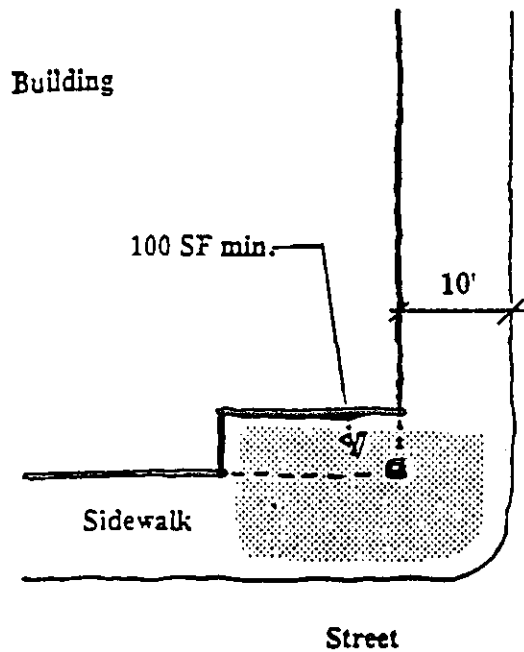
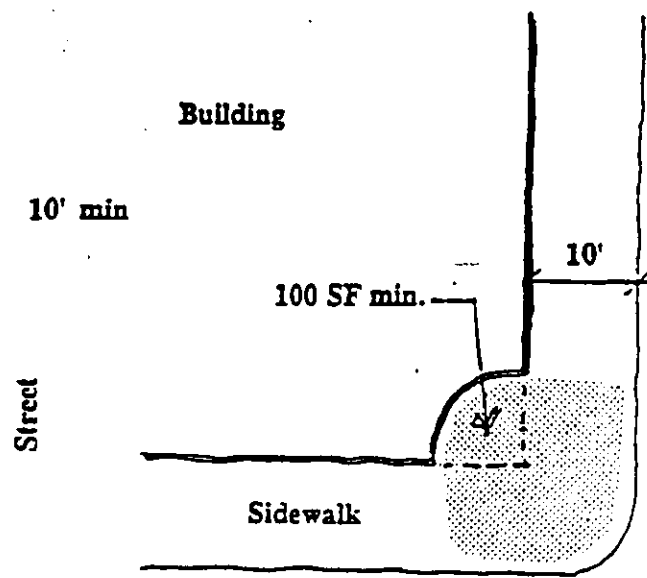
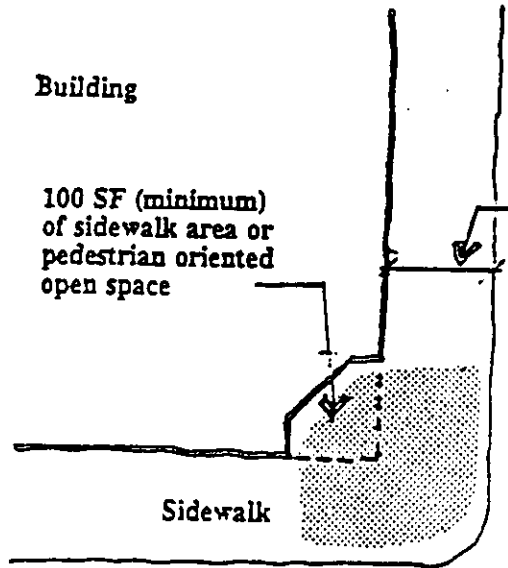


FIGURE 50.65.6.A

- 2) Provide an entrance way to a store, building atrium or lobby, exterior courtyard or pedestrian-oriented open space. See Figure 50.65.6.b.
- 3) Provide a pedestrian pathway, at least 8' in width, that connects to another street, public feature or building. See Figure 50.65.6.b.
- 4) Provide one or more of the elements listed below on both sides of an axis running diagonally through the corner of the building and bisecting the angle formed by the two building facades:
 - a) A bay window or turret.
 - b) A roof deck.
 - c) Balconies above the ground floor.
 - d) A building corner setback notch or curved facade surface.
 - e) Sculpture or artwork, either bas-relief or figurative.
 - f) Distinctive use of facade materials.

See Figure 50.65.6.c.

- 5) Provide special or unique treatment, other than the use of fabric or vinyl awnings, for pedestrian weather protection at the corner of the building.

Options for Corner Entry Elements

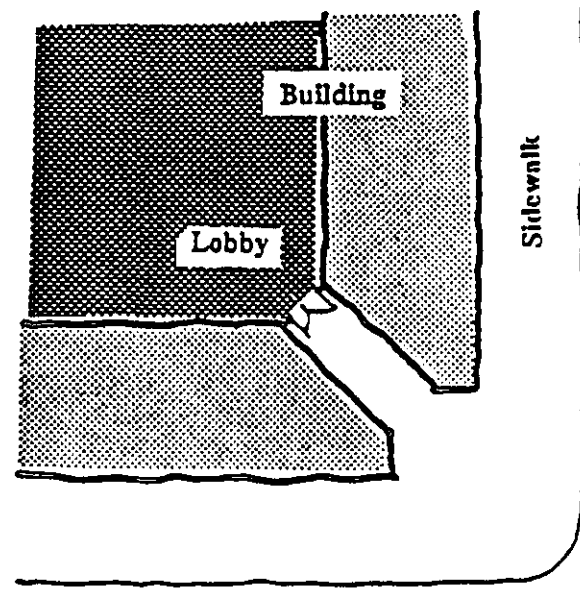
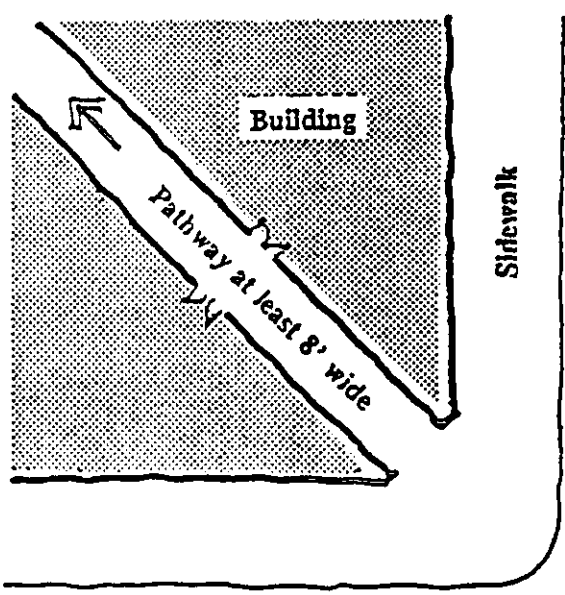
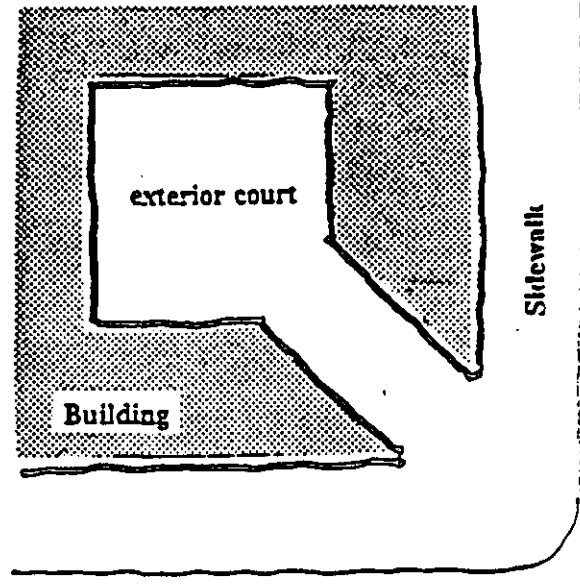
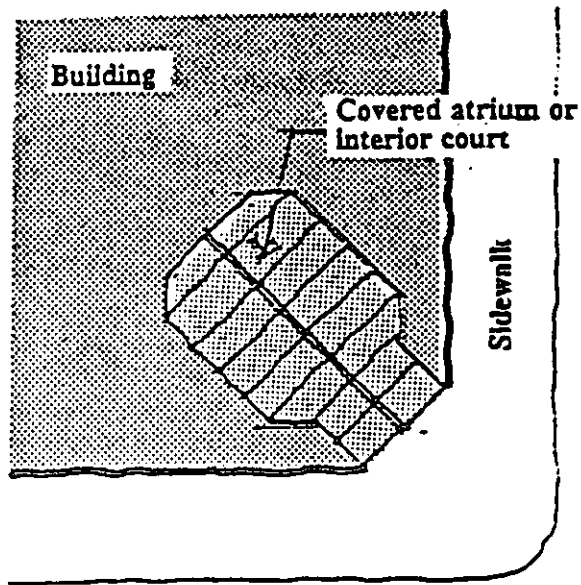
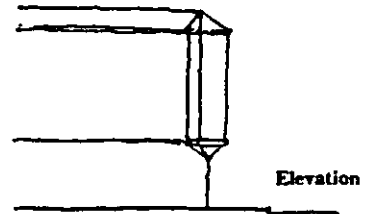
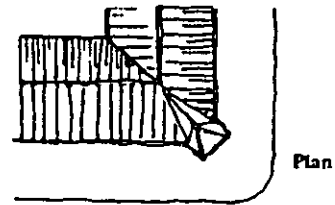


FIGURE 50.65.6.B

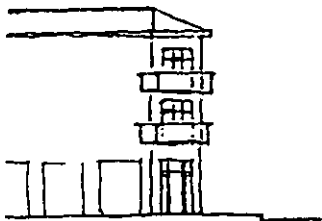
Architectural Elements for Corners



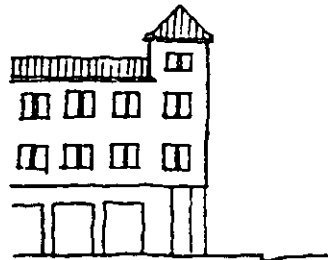
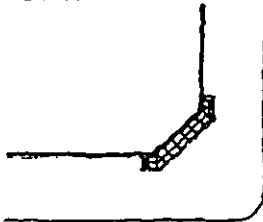
Bay window



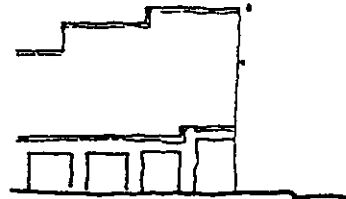
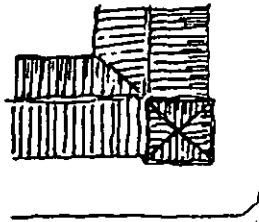
Plan



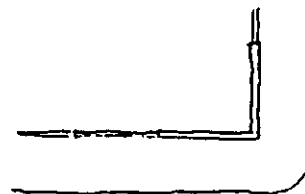
Balconies



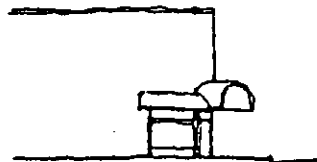
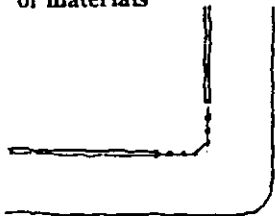
Turret



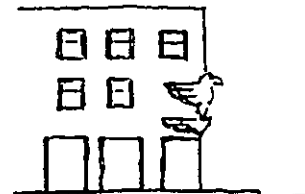
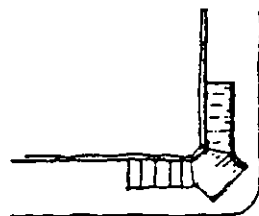
Corner accentuating roof line



Distinctive use of materials



Canopy



Sculpture

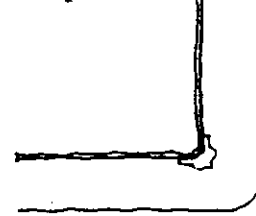


FIGURE 50.65.6.C

50.65.5. Scale (AMENDED)

a. Techniques to Moderate Bulk and Mass

1) General - This Section establishes required techniques to be used in the design and construction of building facades in specific areas of the CBD. The applicant shall comply with the techniques listed below in order to reduce the perceived bulk and mass of large structures by dividing the building mass into smaller-scale components. As an alternative, the applicant may propose and the City may approve other techniques, elements, or methods if consistent with the following criteria:

- a. The alternative is generally consistent with the Downtown Plan and design principles in Appendix G of the Comprehensive Plan; and
- b. The alternative clearly provides superior moderation of the architectural bulk and mass than would result from strict application of the required techniques.

2) Vertical Definition - The applicant shall comply with the following requirements to moderate the horizontal scale of buildings:

- a) All Zones: The maximum length of any facade facing a street is 70' vertical definition. Vertical definition may be in the form of changes in color and materials, modulations of sufficient width and depth to define the vertical element, or some combination of these techniques. This vertical definition should carry through all floors of the building.
- b) CBD 4, CBD 6, CBD 8: Along First Street, Second Street South, First Avenue South, and Fifth Street, the maximum length of a facade is 120 feet. Any facade that exceeds 120 feet along the right-of-way shall comply with the following requirements:
 - i. Shall be divided by a 30 foot wide modulation of the exterior wall so the maximum length the facade is 120 feet without this modulation.
 - ii. The modulation shall be 20 feet in depth and shall start at finished grade and extend through all floors.

- iii. Decks and roof overhangs may encroach up to three feet (per side) into the modulation.

See Figure 50.65.5.B

Horizontal Articulation: Large Modulation Options

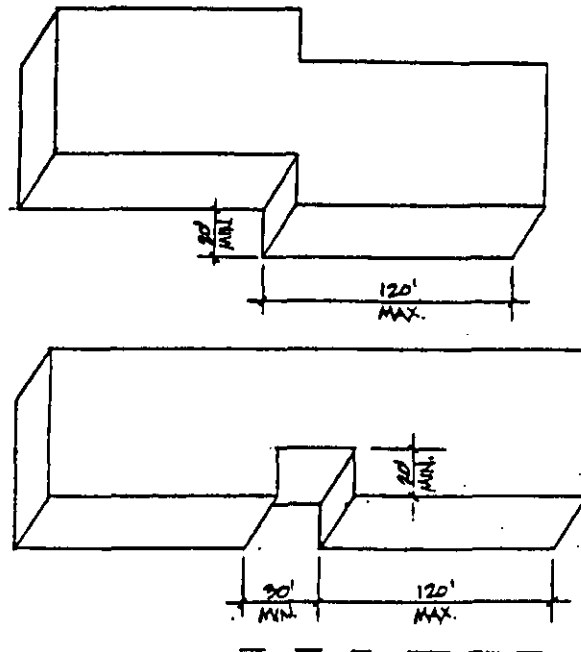
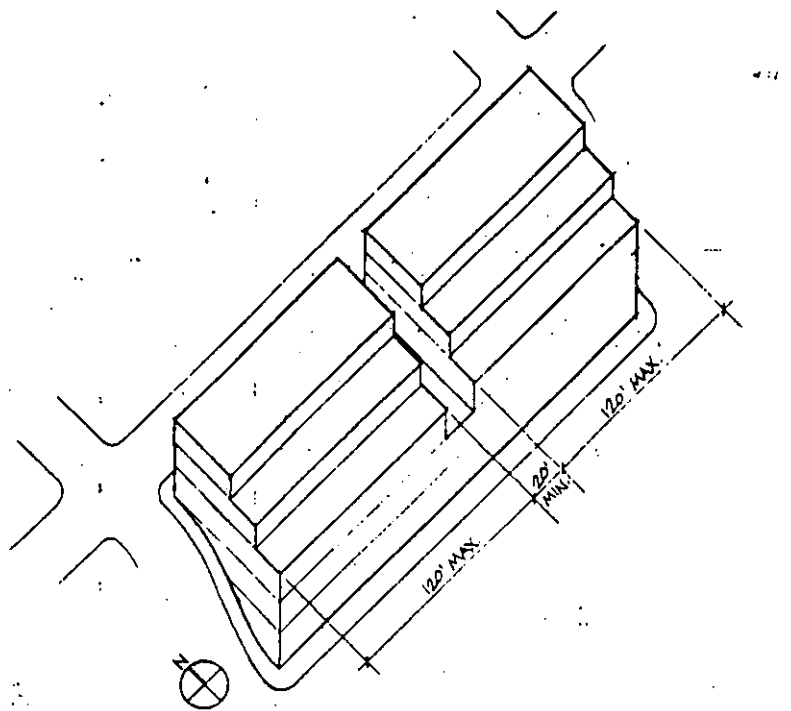


FIGURE 50.65.5.B

- c) CBD 6, CBD 8: Along the axis of all buildings which is predominantly east-west and/or most closely parallel to Central Way, Third Avenue, Fourth Avenue, or Sixth Avenue, the maximum length of a building is 120 feet. The following exceptions apply:
 - i. Portions of buildings which are below the elevation of Third Avenue, Fourth Avenue, or Sixth Avenue, as measured at the midpoint of the frontage of the subject property on the applicable right-of-way, may exceed the 120 feet limitation.
 - ii. Portions of the building above Third Avenue, Fourth Avenue, or Sixth Avenue shall be divided into two or more distinct building masses with a maximum length of 120 feet separated by at least 20 feet in width.

iii. Decks, bay windows, roof overhangs, and chimneys may encroach up to three feet (per side) into the separation.

See Figure 50.65.5.C



Vertical Definition: Upper level separation

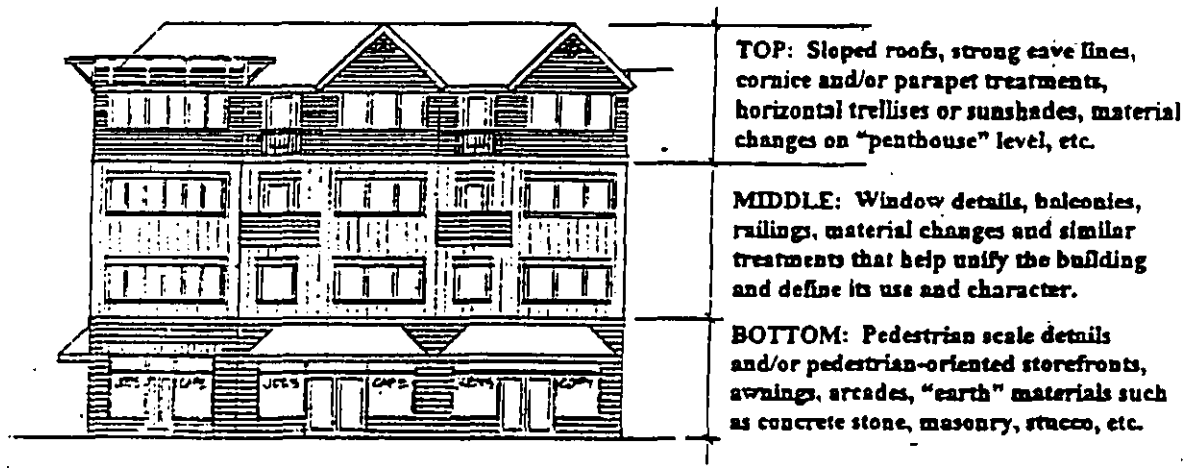
3) Horizontal Definition - The applicant shall comply with the following requirements to moderate the vertical scale of buildings. All buildings in the CBD shall include design techniques which clearly define the building's top, middle, and bottom (see Figure ____). The following techniques are suggested methods of achieving vertical articulation:

- a) Top: Sloped roofs, strong eave lines, cornice treatments, horizontal trellises or sunshades, etc.
- b) Middle: Windows, balconies, material changes, railings, and similar treatments that unify the building design.
- c) Bottom: Pedestrian-oriented storefronts, pedestrian scale building details, awnings, arcades, "earth" materials such as concrete, stone, stucco, etc.

Where appropriate, the applicant should coordinate the horizontal elements (i.e. - cornices, window lines, arcades, etc.) in a pattern and height to reflect similar elements on neighboring buildings.

See Figure 50.65.5.D

Vertical Articulation of Buildings' Top, Middle and Bottom



TOP: Sloped roofs, strong eave lines, cornice and/or parapet treatments, horizontal trellises or sunshades, material changes on "penthouse" level, etc.

MIDDLE: Window details, balconies, railings, material changes and similar treatments that help unify the building and define its use and character.

BOTTOM: Pedestrian scale details and/or pedestrian-oriented storefronts, awnings, arcades, "earth" materials such as concrete stone, masonry, stucco, etc.

FIGURE 50.65.5.D

162.65

CBD Continued Use (new section)

The term "CBD Continued Use" means an existing structure in a CBD zone which became nonconforming solely as a result of the adoption of Ordinance 3609.

A CBD Continued Use shall be permitted to exist as a lawful use subject only to the following conditions:

- 1. Ordinary repairs and maintenance may be carried out consistent with the provisions of this Chapter, provided that there shall be no limitation on the amount or cost of such repairs and maintenance.
- 2. In the event a CBD Continued Use is destroyed to any extent by fire or other casualty, the structure may be rebuilt provided, however, that the gross floor area of the structure and major exterior dimensions of the structure shall not exceed the same gross floor area or major exterior dimensions of the previous structure. This provision shall not reduce any requirements of the building or fire codes in effect when such structure may be rebuilt.

The provisions of this section shall only be available if any application for a building permit is filed within twelve (12) months of such fire or other casualty and construction is commenced and completed in conformance with the provisions of the building code then in effect.

- 3. Except as would be in conflict with this Section, rebuilding shall conform to then current codes or regulations.
- 4. The owner of a CBD Continued Use may request the issuance of a "Certificate of CBD Continued Use" which shall identify the property, existing use, building dimensions, and site characteristics for which the certificate is issued and which shall include the provisions of this Section.

PUBLICATION SUMMARY
OF ORDINANCE NO. 3609

AN ORDINANCE OF THE CITY OF KIRKLAND RELATING TO ZONING, PLANNING, AND LAND USE AND AMENDING ORDINANCE 2740 AS AMENDED, THE KIRKLAND ZONING ORDINANCE (FILE NO. IV-96-70.)

SECTION 1 Amends Section 50 of the Kirkland Zoning Code (CBD Zones 1-8 and Design Regulations for the Central Business District) including provisions related to building mass and height and Section 162 related to nonconformances.

SECTION 2 Establishes continuation of Ordinance 3595 and 3596 until they expire or are repealed and the effect of this ordinance while Ordinances 3595 and 3596 are in force or effect.

SECTION 3 Provides a severability clause for the ordinance.

SECTION 4 Authorizes publication of the ordinance by summary, which summary is approved by the City Council pursuant to Section 1.08.017 Kirkland Municipal Code and establishes the effective date as January 23, 1998

SECTION 5 Establishes certification by City Clerk and notification of King County Department of Assessments.

The full text of this Ordinance will be mailed without charge to any person upon request made to the City Clerk for the City of Kirkland. The Ordinance was passed by the Kirkland City Council at its regular meeting on the 18th day of December, 1997.

I certify that the foregoing is a summary of Ordinance 3609 approved by the Kirkland City Council for summary publication.



Deputy City Clerk