ORDINANCE NO. 3609

AN ORDINANCE OF THE CITY OF KIRKLAND RELATING TO ZONING, PLANNING, AND LAND USE AND AMENDING ORDINANCE 2740 AS AMENDED, THE KIRKLAND ZONING ORDINANCE (FILE NO. IV-96-70).

WHEREAS, the City Council has received from the Kirkland Planning Commission a recommendation to amend certain sections of the text of the Kirkland Zoning Code, Ordinance 2740 as amended, all as set forth in that certain report and recommendation of the Planning Commission dated May 9, 1997 and bearing Kirkland Department of Planning and Community Development File No. IV-96-70; and

WHEREAS, prior to making said recommendation, the Planning Commission, following notice thereof as required by RCW 35A.63.070, on March 13, 1997, held a public hearing on the amendment proposals and considered the comments received at said hearing; and

WHEREAS, in regular public meeting, the City Council considered the recommendation from the Kirkland Planning Commission as to proposed text for amendments concerning development within the Central Business District; and

WHEREAS, the City Council decided additional study concerning development within the Central Business District was needed, which resulted in revised proposed text for amendments; and

WHEREAS, the City Council held a new public hearing on the proposed text for amendments concerning development within the Central Business District on November 18, 1997; and

WHEREAS, pursuant to the State Environmental Policies Act there has accompanied the legislative proposal and recommendation through the entire consideration process, a final determination of nonsignificance, including supporting environmental documents, issued by the responsible official pursuant to WAC 197-11-340 and WAC 197-11-390; and

WHEREAS, in regular public meeting the City Council considered the environmental documents received from the responsible official, together with the report and recommendation of the Planning Commission.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Kirkland as follows:

Section 1. Zoning text amended: The following specified sections of the text of Section 50 and Section 162 of Ordinance 2740 as amended, the Kirkland Zoning Ordinance, be and they hereby are amended to read as follows:

As set forth in Attachment A which by this reference is incorporated herein.

Section 2. Ordinance Nos. 3595 and 3596 shall continue to be in force and effect, according to their terms, until repealed or until they expire without renewal. While Ordinance Nos. 3595 and 3596 are in force and effect, this Ordinance shall apply to all requests or applications for building or zoning permits or approvals within the Central Business District for projects under 35 feet in height, and therefore not subject to the provisions of Ordinance Nos. 3595 and 3596. Upon repeal or expiration without renewal of Ordinance Nos. 3595 and 3596, this Ordinance shall apply to all requests or applications for building or zoning permits or approvals within the Central Business District.

Section 3. If any section, subsection, sentence, clause, phrase, part or portion of this ordinance, including those parts adopted by reference, is for any reason held to be invalid or unconstitutional by any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this ordinance.

Section 4 This ordinance shall be in force and effect January 23, 1998, and this ordinance shall be published, pursuant to Section 1.08.017, Kirkland Municipal Code, in the summary form attached to the original of this ordinance and by this reference approved by the City Council.

<u>Section 5</u> A complete copy of this resolution, including Findings, Conclusions and Recommendations adopted by reference, shall be certified by the City Clerk, who shall then forward the certified copy to the King County Department of Assessments.

PASSED by majority vote of the Kirkland City Council in regular, open meeting this <u>18th</u> day of <u>December</u>, 1997.

SIGNED IN AUTHENTICATION thereof this <u>18th</u> day of December , 1997.

Mayor

rallfeld

Attest:

Deputy City Clerk

Approved as to Form:

City Attorney . ועל א

W\ORD-3609.MAY/JM;ct

CHAPTER 50 - CENTRAL BUSINESS DISTRICT (CBD) ZONES

regulations that apply to that use. In addition, you should read Chapter 1 of this Code which will assist you in finding other regulations that apply to your User Guide. The charts in Section 10 through 50 of this Chapter contain the basic zoning regulations that apply in the CBD 1-8 zones of the City. Use these charts by reading down the extreme left hand column entitled Use. Once you locate the use in which you are interested, read across to find the property or proposal. 50.05

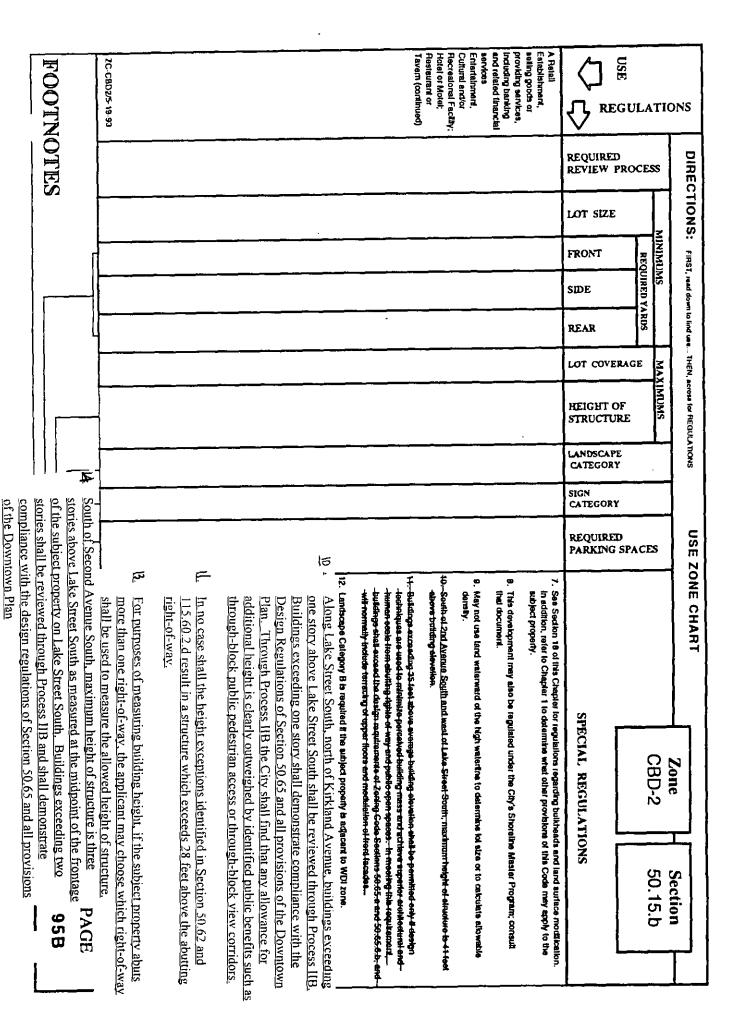
The sample chart on this page describes the regulations that are contained in each column.

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| | SPECIAL REGULATIONS | The column contains any special requisitors, standards, or declatored others for may apply to each tisted uso. Some of these requirements are absolute, whise others contain decisional orderts or more general standards. Where declatored criteria are itsied, the City will use these orders to more general standards. Where declatored criteria so basis for impossing limitations and conditions on the proposed use and development. 1. This column lists the maximum emount of for coverage allowed for each use. Maximum lot coverage is a defined term. Consult Chapter 5 of this Code. 2. This column tists the Landacaping Category for each use. The foolingle references the chapter that specifies the buffers that must be provided, depending on the uses or zones that adjoin the subject property. 3. This column lists the sign category for each use. The foolingle references the chapter that provides that information on allowable signs for each use. | For other information about parking and parking areas, see Chapter 105. For details of the regulations in this category, see Chapter 100. For thiormation of the regulations in this category, see Chapter 95. For details of what may exceed this height limit, see Chapter 115. For details regarding required youts, see Chapter 115. |
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| Any Retait Establishment, other than those specifically listed, timited or prohibited in this Zone, selling goods or providing services, including beniding and seleted financial services Hotel or Motel Entertainment, Cultural and/or Recreational Facility | If the structure exceeds 365 above exceeds 365 above exceeds 365 above exceeds 152, and A.D.R. Ghapter 152, and A.D.R. Chapter 142 | None 2 stories the elevithe abutt of-way | ation o | | 0 | 100% | 52 feet above surrage - building - see Special Regulation 6. 2-4 stories above each abutting ri of-way | D | E | One per each 350 sq. ft. of gross floor tree. See Section 60 of this Chapter. One for each room. See Special Regulation 5. Seo Section 60 of this Chapter. See Section 60 of this Chapter. | 1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. 2. The following uses are not permitted in this zone: a. Vehicle service stations. b. Vehicle service stations. c. Drive-in facilities and drive-through facilities. 3. Anciliary assembly and manufacture of goods on the premises of this use are permitted only it: a. The essentibled or manufactured goods are directly related to and dependent upon this use, and are orwaltable for purchase and removal from the premises. b. The outward appearance and impacts of this use with anciliary assembly or manufacturing activities must be no different from other retail uses. 4. A use involving the preparation and consumption of food may include, as part of the use, accessory setting it: a. The sesting and associated circulation area does not exceed more than 10% of the gross floor area of this use; and b. It can be demonstrated to the City that the floor plan is designed to preclude the seating area from being expanded. 5. The period graquitement for hotel or motel use does not include parking requirements for anciliary meetings and convention facilities. Additional parking requirements for anciliary meetings and convention facilities. Additional parking requirements for anciliary uses shall be determined on a case-by-case basts. 6. Builkings accessing 35 feet above average building elevation shall be permitted only if deelign—techniques are used to minimize perceived building mass and actives superior architectural and humans cools from abuting rights of way and pubble open spaces. In meeting this requirement,—buildings shall accessed the design requirements of Joning Code Sections 50.65.5.e. and 50.55.5.b.—and will normally biclude terracing at upper floore and mediation of work leaders. 7. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property on the abutting right-of-way, excluding First Avenue South. Buildings exceeding two |
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| FOOTNO | DTES | | | | | | | | | | For other information about parking and parking areas, see Chapter 105. For details of the regulations in this category, see Chapter 100. For information of the regulations in this category, see Chapter 95. For details of what may exceed this height timit, see Chapter 115. 94B |

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| Enterterment, Cultural end/or Recreational Facility | Chapter A.D.R. Chapter | | | | | 当 | above-each abutting right of way | D See Special Reg. 12 | ш | Section 105.25 and Section 60 of this Chaples. | waterform of the subject property within the high watertine yard. In addition, the City may require that part or all of the high watertine yard be developed as a public use area. The City shall require signs designating public pedestrian access and public use areas. 3. The following uses are not permitted in this Zone: A. Vehicle service stations. |
| Hotel or Motel | Pete. 10 | | | | | | of the subject frontage of the subject property on each right of way. | D See Special Reg. 12 | m | One for each room. See Special Regulation 6 and Section 60 of this | a. The easembly and manufacture of goods on the premises of this use are permitted only if: a. The easembly and manufactured goods on the premises of this use are permitted only if: a. The easembled or manufactured goods are directly related to and dependent upon this use, and are available to purchase and removal from the premises. b. The outward appearance and impacts of this use with ancitiary assembly or manufacturing activities must be no different from other retail uses. |
| Residurent of Tavern | | | | | | | Special Regulations 10-end 1, 15 AUD 14 | D See Special Reg. 12 | m | Chapter. One per each 125 sq. ft. of gross stoor gross stoor stee. See Section 60 of this Chapter. | 5. A ratal use involving the preparation and consumption of food may include, as part of this use, accessory seating it: a. The seating and associated circulation area does not exceed mote than 10% of the gross floor area of this use; and b. It can be demonstrated to the City that the floor plan is designed to preclude the seating area from being expanded. 6. The parking requirement for hotel or motel use does not include parking requirements for ancitary uses shall be determined on a case-by-case basis. |
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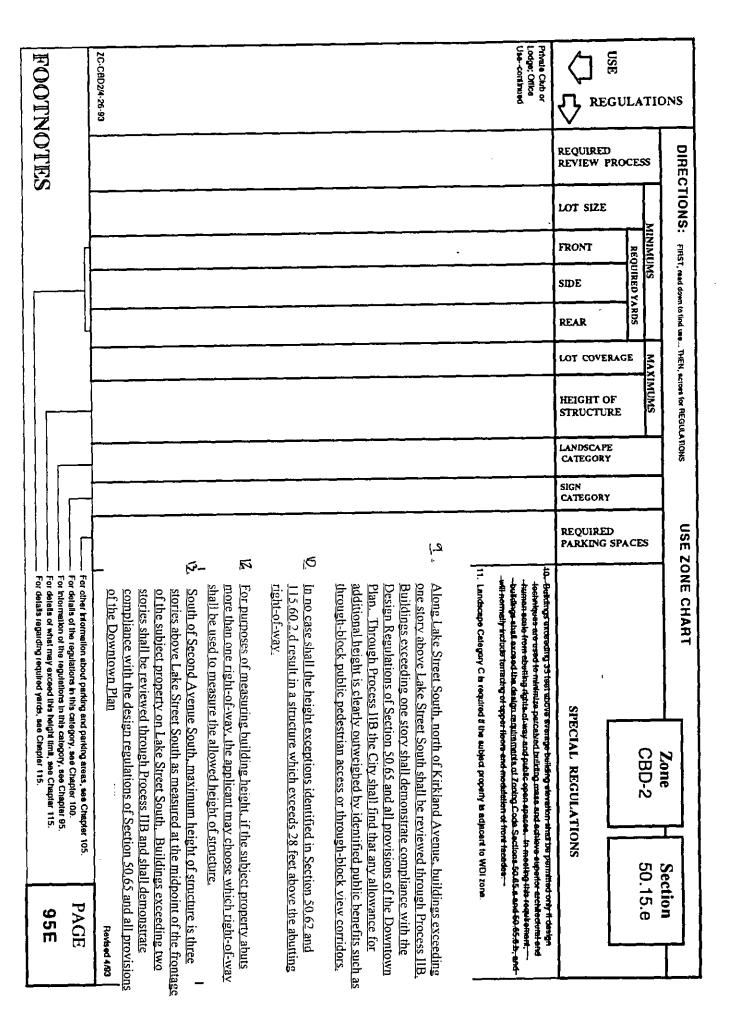


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| School, Day-Care Center, or Mini School or Day-Care Facility | It the structure-oxcoods 39' shove-everage-building elevellon, then—process IIB, Chapter—152, and—A.D.R.—Chapter—142—Ctherwise, A.D.R.—Chapter—142—SPETA—PECA. II | None | 0 | 0 | 0 | 100% | a. 52 fool- above— Lakeshore— Plaza— measured al- the midpoint— of the trorlage of the subject- property on Lakeshore— Plaza; Z > 10 P/Y b. 30 feet above each abuiling right of-way measured at the midpoint of the trorlage of the subject property on each right of-way. See Special Regulations | D | 8 | See Section 105.25 and Section 60 of this Chapter. | The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. The following provisions, which supercede any conflicting provisions of this Chapter, apply only if the subject property abuts or includes a portion of Lake Washington; A high waterline yard equal in depth to the greater of 15 feet or 15 percent of the average parcel depth is hereby established on the subject property. Balconies that are at least 15 feet above tinished grade may extend up to 4 feet into the high waterline yard. No structure, other than moored structures, may be waterward of the high waterline. For regulations regarding moorages, see the moorage listings in this Zone. A 6-fool high fence is required niong all property lines adjacent to outside play areas. Structured play areas must be set back from all property lines by at least five feet. Hours of operation may be limited by the City to reduce impacts on nearby residential uses. An on-site passanger loading area may be required depending on the number of attendees and the extent of the abutting right-of-way improvements. Those uses are subject to the requirements established by the Department of Social and Health Services (WAC 388-73, 388-150, and 388-155). See Section 18 of this Chapter for regulations regarding bulkheads and land surface modification, in addition, refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. |
| | 1 = x00. | ŗ | Į | į | | ļ | 11_enct 12, | Á | [| ļ | This development may also be regulated under the City's Shoreline Master Program; consult that document. |
| \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ | one st <u>Build</u> | ory abov ings exc | <u>/e Lak</u> eeding | e Street one sto | South | shall b II demo | nd Avenue, be reviewed onstrate com all provisio | through pliance | h Proc e with | ess IIB. the | 10. May not use tand waterward of the high waterline to determine lot size or to calculate allowable density. 11. South of 2nd Avenue South and west of take Street South, meximum height of structure is 41 feet above average building elevation. |
| ZC-CBD2/5-5-93 | <u>Plan.</u> additi | Throug onal hei | <u>ı Proce</u> ght is c | ess IIB learly o | the Cit | y shall ghed by | find that any identified rethrough-bl | y allow public | <u>ance i</u> benefi | or s such as | 12. Buildings exceeding 35 test shove average building elevation shall be permitted only it design—leakingues are used to minimize perceived building mass and schieve superior architectural and human scale from shutting rights of way and public open spates. In mostling this requirement, buildings shall exceed the design requirements of Zening Code Sections 50.65.a and 50.65.6.b,—and will normally include terracing of upper floors and modulation of front leacades.— Revised 4/9:1 |
| FOOTN | 115.6 right- | 0.2.d res | ult in | a structi | ure whi | ich exc | ntified in Seceeds 28 fee | t above | the al | outting | l · |
| | more | than one | right- | <u>of-way</u> | the ap | <u>plican</u> | ht, if the sub t may choos | se which | | | of the Downtown Plan |

shall be used to measure the allowed height of structure

| ZONE CHART | | CBD-2 30.15.0 | SPECIAL REGULATIONS | 1. The development of the subject property and edjacent rights of way must be consistent with the regulations of Section 65 of this Chepter. 2. The lottowing provisions 45 of this Chepter. 3. A high waterine yeard equal in depth to the greater of 15 test of 15 percent of the average parcel depth is bready established on the subject property. 4. Buttories in that are at least 15 feet above linshed grade may extend up to 4 feet into the high waterine yeard equal in depth to the greater of 15 test of 15 percent of the average parcel depth is bready established on the subject property. 5. Buttories in that are at least 15 feet above linshed grade may extend up to 4 feet into the high waterine yeard. 6. No structure, other than moored structures, may be waterward of the high waterine. For capulations regarding moorages, see the moored bittings in this 2 cons. 6. No structure, other than moored structures, may be waterine yeard. In edition, the Cty may requise that part or all of the high waterine yeard in the objective access to the action of the action of the action of the subject property within the high waterine yeard. In edition, the Cty may requise that part or all of the high waterine yeard and public use areas. 5. Ancillary assembly and menutiadure of goods on premises may be permitted as part of an office use at the use may be located expeaternes and impacts of the office uses. 6. The use may be located on the street level floor of a building only 8 there is an interverting relating activities must be no different from other office uses. 7. The development may also be requisited under the Chy's Shoreline Master Program; consult that document. 8. May not use land waterward of the high waterline to determine to take or to calculate allowable density. 9. South of 200 August South and wast of Lake Steet South, meximum fraight of structure between the sub-entire. 9. South of 200 August South and wast of Lake Steet South. | For other knormation about parking and parking eneas, see Chapter 105. For details of the regulations in this category, see Chapter 100. For information of the regulations in this category, see Chapter 95. For details of what may exceed this height limit, see Chapter 115. |
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| SNO |)IT. | V] | O FECT | Private Cub or Lodge Office Use | FOOTNOTES |



| SNO | DIREC | TIONS | FIRST | , read down | n to find use | THEN, | across for REGUL | ATIONS | | USE 2 | ZONE CHART |
|---|--|--|---|--|--|--|--|--|------------------------------|--|---|
| l E | 8 | M | UMIMU | MS _ | | MA | XIMUMS | | | | Zone Section |
| Į. | CE CE | | REQ | UIRED Y | ARDS | 3 | | l | ļ | [2 | CBD-2 50.15.f |
| A SS | REQUIRED REVIEW PROCESS | 3ZIS LOI | FRONT | SIDE | REAR | LOT COVERAGE | HEIGHT OF STRUCTURE | LANDSCAPE | SIGN | REQUIRED PARKING SPACES | SPECIAL REGULATIONS |
| Stacked or Attacher Dwelling Units | H the- structure exceeds 35'- above average building ellevation; then- Process tilb; Chapter 152; and ADR. Chapter 142- Otherwise, A.D.R. Chapter 142 - SEE SPECIAL FEG. 7 | None | 0 | O | a | 100% | a. 52 fest shore flaxe measured el- the midpoint of the frontage of the subject property on the subject shows each abutting right-of-way measured at the midpoint of the subject property on each right-of-way. See Special Regulations | D | ^ | 1.7 per unit See Section 60 of this Chapter. | The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. The following provisions, which supercede any conflicting provisions of this Chapter, apply only if the subject property abuts or includes a portion of Lake Washington: A high waterline yard equal in depth to the greater of 15 ft. or 15 percent of the average percel depth is hereby established on the subject property. Balconies that are at least 15 feet above finished grede may extend up to 4 feet into the high waterline yard. No structure, other then moored structures, may be waterward of the high waterline. For regulations regarding moorages, see the moorage listings in this Zone. Must provide public pedestrian access from an adjoining right-of-way to and along the entire waterfront of the subject property within the high waterline yard. In addition, the City may require that part or all of the high waterline yard be developed as a public use area. The City shall require signs designating public pedestrian access and public use areas. This use may be located on the street level floor of a building only if there is an intervening retall store front between this use and the abuning right-of-way. See Section 18 of this Chapter for regulations regarding buildheads and land surface modification, in addition, refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. This development may also be regulated under the City's Shoreline Master Program; consult that document. May not use land waterward of the high waterline to determine tot state or to calculate allowable density. |
| zc-cab Et ons Bu De Pla add thr zc-cab FO | e story abov ildings exce sign Regula n. Through litional heig ough-block no case shal 5.60.2.d resu ht-of-way. | e Lake S eding on tions of S Process ht is clea public pe I the heig Ilt in a st | treet S e story Section HB the orly ou edestrice the excurrence ructure | outh shall of shall o | all be redemons and all shall fined by ices or the sidentination of the state of the sidential and the sidential exceeding the | eview trate c provind that dentification fried in ds 28 f | re, buildings ed through I ompliance v sions of the any allowar ed public be block view Section 50. Teet above the subject prop | exceed Process with the Downtonce for nefits s corridon 62 and he abutt | IIB. own uch as ors. ing | 0. 50 sto of sto co | 2. South of 2nd Avenue South and west of Lake Sitter South, maximum height of structure is Alleet above average building elevation. 2. Buildings exceeding 35 feet above average building elevation shall be permitted only if design feethingues are used to minimize perceived building mass and achieve superior erchitectural and human scale from abutiling rights of way and public open spaces. In masting this requirement: - buildings shall exceed the design requirements of Zoning Gode Sections 50.65.a and 50.65.b.b, and will normally include terracing of apper floors and modulation of trort leasance. - buth of Second Avenue South, maximum height of structure is three pries above Lake Street South as measured at the midpoint of the frontage the subject property on Lake Street South. Buildings exceeding two pries shall be reviewed through Process IIB and shall demonstrate ampliance with the design regulations of Section 50.65 and all provisions the Downtown Plan |

| Continu | 50.15.g | is use. It must objeth a lease from giths use. In moff the subject A triches high. Is pleas or boardwalta and surface modification. Code may epply to the ter Program; consult that to calculate allowable. | PAGE 95G |
|---|---|--|--|
| CHART | 2 ULATIONS | 1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. 2. No accessory uses, buildings, or activities may be permitted as part of this use. 3. If a structure will activate what event of the finer Harbor Line, the applicant must obtain a lease from the Westhington State Department of Natural Resources prior to proposing this use. 4. May not treat structures with processes, oil base, or lock substances. 5. Must provide at least one covered and secured waste receptade. 6. All utility lines must be below the pier deck and, where teastble, underground. 7. Piers must be adequately II; the source of the light must not be wishle from off the subject property. The address must be oriented to and visible from the lake with letters and numbers at least 4 inches high. 8. The plat or boardwalk must depile yithe street and address of the aubject property. The address must be oriented to and visible from the lake with letters and numbers at least 4 inches high. 9. The side property line yards may be reduced for over water public access plats or boardwalks writh materitors public access on adjacent property. 9. The side property line yards may be reduced for over water public access plans or boardwalks writh connect with waterfront public access on adjacent property. 9. See Section 18 of this Chapter 10 determine what other provisions of this Code may apply to the subject property. 10. See Section 18 of the high waterline to determine tot size or to calculate allowable document. 11. This development may also be regulated under the City's Shoreline Master Program; consult that density. | For other transmation about parking and parking areas, see Chapter 105. For details of the regulations in this category, see Chapter 100. For information of the regulations in this category, see Chapter 95. For details of what may exceed this height limit, see Chapter 115. For details regarding required yards, see Chapter 115. |
| USE ZONE C | PARKING SPACES REQUIRED | 1 2 6 4 6 6 7 2 | For other For detail For detail For detail |
| ONS | CVIECORY CATEGORY LANDSCAPE | S S S S S S S S S S S S S S S S S S S | |
| CIONS FOR REGULATIONS | S TRUCTURE | Pier decis may not be more than 24 feet above mean sea level. Diving boards and similar features may and be more than 3 feet above the deck. | |
| THEN, # | LOT COVERAGE | 1 | |
| FIRSY, read down to find use THEN, across | MINIMUMS REQUIRED VARDS FROM SEAR | Water red of the high of the high of the high water red of the high of the high of the high of the high water red of the high of the h | |
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| DIRECTIONS | REQUIRED | Chapter 142 | OTES |
| SNO | SECULATION SECURATION | Public Access Pier or Boardwells ZC-CBD2F/5:5-83 | FOOTNOTES |

| Section | 50 15 h | 1.00 | | | ust be consistent with the | ise. Various accessory that listing in this Zone. | rom the high waterline. In | he epplicant must obtain a or to proposing this use. | | Incluie not on the subject | | ground. | from off the subject | erty. The address must be 4 inches high. | | if the average parcel depth is corage structures may be | rd land surface modification. | Assier Program; consult that | Ravised 4/93 | PAGE | 95H |
|---|----------|----------------|--------------------|---------------------|---|---|---|---|---|---|--|--|--|--|-----------------------------------|--|---|--|------------------------------------|---|--|
| ART | CBD | מיטפט | | SPECIAL REGULATIONS | The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. | No accessory use, buildings, or activities are permitted as part of this use. Various accessory components are permitted as part of a General Moorage Facility. Sée that Isling in this Zone. | Moorage structures may not extend waterward beyond a point 150 ft, from the high watershe. In addition, piens and docks may not be wider than is reasonably necessary to provide safe excess to the boals, but not more than 8 feet in width. | if moorage structures will extend waterward of the Inner Harbor Line, the applicant must obtain a lease from the Washington State Department of Natural Resources prior to proposing this use. | May not Ireal structures with creosote, oil based, or toxic substances. | Moored structures may not be closer than 25 feet to another moored structure not on the subject property. | Must provide at least one covered and secured waste receptade. | All utility lines must be below the pler deck and, where leasible, underground | Plers must be adequately III; the source of the light must not be visible from off the subject property. | Moored structures must display the street address of the subject property. The address must be oriented to and visible from the take, with letters and numbers at least 4 inches high. | Covered moonige is not permitted. | A high waterline yard equal in depth to the greater of 15 feet or 15% of the average parcel depth is beceby established on the subject property. No structure other than moorage structures may be within the high watersine yard. | See Section 18 of this Chapter for regulations regarding builtheads and land surface modification. In addition, refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. | This development may also be regulated under the CRy's Shoretine Master Program; consult that document | REGULATIONS CONCLUDED ON NEXT PAGE | For other information about parking and parking areas, see Chapter 105. For details of the regulations in this category, see Chapter 100. | For Information of the regulations in this category, see Chapter 95. For detaits of what may exceed this height limit, see Chapter 115. For detaits regarding required yerds, see Chapter 115. |
| USE ZONE CHART | | | | | 1. The deve regutation | 2. No accer compone | 3. Moorage addition, the boats | 4. If moora | 5. May not | 6. Moored a | 7. Must pro | 8. All utility | 9. Plers mu property. | 10. Moored orlented | 11. Covered | 12. A high v hereby v | 13. See See In addill subject | 14. This devel | | - For other Info - For details o | For Informati For details n For details n |
| USE Z | S | YC! | rking si Soiked | REC PAR | Sedion Sedion | Section 60 | Chapter. | | | | | | | | | | | | | | |
| | _ | | ECOKA | SIGN | See Spec. | £ 6 6 | | - | | | | | | | | | | | | | |
| REGULATIONS | L, | | DSCAPE | | | | | | | <u>.</u> | | | | | | | | | | | _ |
| | MAXIMUMS | | OHT OF | | Pier decks may not be | feet above mean sea | boards and striker teatures may | than 3 feet above the | deck. | | | | | | | | | | | | |
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| m to find u | | /A RDS | <u>ж</u> | KEV | H Ngh | 5 | <u> </u> | | | | | | | | | | <u>-</u> | | | | |
| T, read dov | IMS | REQUIRED YARDS | 3 | acins | ard of | na ra | 10' geo Specialismo | <u>,</u> | | | | | | | | | | | | | |
| 1 1 | MINIMUMS | RE | IN | OSTI | Landv | Water water | See R Regul | | | | | | | | | | | | | 1 | |
| DIRECTIONS: | | | SIZE | TOI | None | | | | | | | | | | | | | | | | r o |
| DIREC | s | SES | IEM PRO | REQ | A.D.R. Chapter | 2 | | | | | | | | | _ | | | | | | OTES |
| SNO | OIT | ∀ ¹ľ | ξ EEG | 分 〉 | Moorage Facility tor One or Two Boats | | | | | | | | <i>-</i> - | | | | | | ZC-CBD2H/4-26-93 | | FOOTNOTES |

| THE STATE OF THE S | DIRECTIONS: FIRST, mad down to lind use THEN, across ton REQUIATIONS USE ZONE CHART | 2107 | : | SPECIAL REGULATIONS SIGN LEGORY SIGN LOT COVERA REAR LEGORY RECULAR REAR LEGORY REAR LEGORY REAR LEGORY LEG | 15. May not use land waterward of the frigh waterline to determine lot size or to calculate allowable density. | by Stock and Sto | For other information about parking aridas, see Chapter 105. PAGE For details of the regulations in this category, see Chapter 106. For information of the regulations in this category, see Chapter 95. For details of what may exceed this height limit, see Chapter 115. |
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| Moonge facility for One or Two Boats (confinued) ZC-GBD265-5-93 ZC-GBD265-5-93 | DIRECTION | SS | OCE | BEAIEM BB | | < 91 m | FOOTNOTES |

| 15. Moored structures must display the street eddress of the subject property. The eddress must be oriented to and visible from the take, with letters and numbers at least 4 inches high. 16. Covered moorage is not permitted. Africall moorage is not permitted. 17. A high waterline yard equal in depth to the greater of 15 feet or 15% of the everage parcel depth is thereby established on the subject property. No structure other than moorage structures may be within the high waterline yard. 18. Balconies that are at least 15 feet above lintshed grade may extend up to 4 feet into the high waterline yard. 19. No structures, other than moorage structures, may be waterward of the high waterline. REQUILATIONS CONTINUED ON NEXT PAGE Revised 4 793 | | | | | |
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| 14. Piers must be adequately &; the source of the light must not be visible from off the subject property. | | | | | |
| 13. All utility lines must be below the pier decks and, where leasible, underground. | | | | | |
| 12. Must provide at least two covered and secured waste receptacles. | | | | | |
| 11. No moorage structure may be within: a. 100 feet of a public park; b. 50 feet of any abuiling lot that contains a detected dwelling unit; and c. 25 feet of another moorage structure not on the subject property. | | | | | |
| May not treat moored structures with creosote, oil based, or toxic substances. | | | | | |
| It moored structures will extend waterward of the Inner Harbor Line, the applicant must obtain a lease from the Washington State Department of Natural Resources prior to proposing this use. | | | | | |
| Must provide public restrooms unless moorage is available only for the residents of dwelling units on the subject property. | | | | | |
| At least one pump-out facility shell be provided for use by the general public. This facility must be easily accessible to the general public and deathy marked for public use. | | , | | | |
| The City may require the applicant to install a buffer between the subject property and adjoining property. The City will use the requirements of Chapter 95 as a guide for requiring a buffer. | | | | <u></u> | General Moorage Facility (continued) |
| LANDSCACATEGOI SIGN CATEGOI REQUIREPARKING | REAR | FRONT | LOT SIZ | REQUIR REVIEW | ♣ |
| PE RY | | REQUIRED YARDS | E | ED PROCE | EGULA |
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| A SECULATIONS | REQUIRED REVIEW PROCESS | LOT SIZE | FRONT | SDE | REAR | LOT COVERAGE | HEIGHT OF STRUCTURE | LANDSCAPE | SIGN | REQUIRED PARKING SPACES | SPECIAL REGULATIONS |
| General Moorage Facility (continued) | · | | | | | | | | | | 20. See Section 18 of this Chapter for regulations regarding bulkheads and land surface modification. In addition, refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. |
| | | | | | | | | | | | 21. This development may also be regulated under the City's Shoreline Master Program; consult that document. |
| | , | | | | } | | | | | | 22. May not use land waterward of the high waterline to determine lot size or to calculate allowable density. |
| | ı | | | | İ | | | | | | 23 South of 2nd Avenue South and west of Lake Street Gouth, maximum height of structure is 41 feet above average building elevation. |
| | | | | | | | | | | | 24. Buildings exceeding 35 feet above average building elevation shall be permitted only if design— -techniques are used to minimize perceived building mass and activeve superior architecturat andhuman scale from sbutting rights of way and public open spaces. In meeting this requirements, -buildings shall exceed the design requirements of Zoning Code Sections 50:85.5 is and 50:65.5 b; -and will normally include terracing of upper floors and modulation of trout facades. |
| | | | | | | | | | | <u>33.</u> | Along Lake Street South, north of Kirkland Avenue, buildings exceeding one story above Lake Street South shall be reviewed through Process IIB. Buildings exceeding one story shall demonstrate compliance with the Design Regulations of Section 50.65 and all provisions of the Downtown Plan. Through Process IIB the City shall find that any allowance for additional height is clearly outweighed by identified public benefits such as |
| ZC-CBD2.1/5-5-93 | | | | | | | | | | 24. 7 <u>6</u> | 115.60.2.d result in a structure which exceeds 28 feet above the abutting right-of-way. South of Second Avenue South, maximum height of structure is three stories above Lake Street South as measured at the midpoint of the frontage of the subject property on Lake Street South. Buildings exceeding two stories shall be reviewed through Process IIB and shall demonstrate compliance with the design regulations of Section 50.65 and all provisions of the Downtown Plan. |
| FOOTN | OTES | • | | | | | | | | | For details of the regulations in this category, see Chapter 105. For information of the regulations in this category, see Chapter 100. For information of the regulations in this category, see Chapter 95. For details of what may exceed this height limit, see Chapter 115. For details regarding required yards, see Chapter 115. |

| SX | DIREC | TIONS | FIRST | f, read down | n to find use | THEN, | across for REGULI | ATIONS | | USE Z | ONE CHART |
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| TIO | 12 | | MINIMU | MS | | MA | KIMUMS | | | , s | Zone Section CBD-2 50.15.1 |
| GLA | 300 | | REQ | UIRED Y | ARDS | <u> </u> | | | | ACE | CBD-2 30.13.1 |
| REGULATIONS | REQUIRED REVIEW PROCESS | LOT SIZE | FRONT | SDE | REAR | LOT COVERAGE | HEIGHT OF STRUCTURE | LANDSCAPE CATEGORY | SIGN | REQUIRED PARKING SPACES | SPECIAL REGULATIONS |
| South of Second Astories above Lake | tithe structure exceeds 35' shove exceeds 35' shove exceeds 35' shove exceeds 35' shove exceeds 118. Chapter 152, and 142 - Chapter 142 - Chap | uth, max | imum | height (| of struc | ture is | a 52 feet above Lakeehors Plaza measured at the midpoint of the frontage of the aubject property on Lakeehore Plaza Do 20 feet above each abutting right of way measured at the midpoint of the frontage of the subject property on each right of way. See Special Regulations 8 and 8, 10 Aug 11 | D See Special Reg. 2 D See Spec. Reg. 2 | above excees Section | e Lake Stree eding one st on 50.65 an shall find th | 1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. 2. Landscape Category C is required if the subject property is adjacent to WDI zone. Landscape Category A or B may be required depending on the type of use on the subject property and the impacts associated with the use on nearby uses. 3. May be permitted only if locating this use in the immediate area of subject property is necessary to permit efficient service to the area or the City as a whole. 4. No structures, other than moorage structures, may be waterward at the high waterline. For regulations regarding moorages, see the moorage listings in this Zone. 5. See Section 18 of this Chapter for regulations regarding bulkheads and land surface modification in addition, refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. 6. This development may also be regulated under the City's Shoreline Master Program; consult that document. 7. May not use land waterward of the high waterline to determine lot size or to calculate allowable density. 8. South of 2nd Avanua South and west of Lake Sireet South, maximum height of structure is 41 feet-above average building elevation. 9. Buildings exceeding 35 feet above average building its autitum shall be permitted only if design—techniques are used to minimize perceived building mass and achieve superior architectural and human scale from abutting rights of way and public open spices. In meaning this requirement, buildings exceeding Nicolate terracking of upper floors and modulation of from facedes,—and will normally lockude terracking of upper floors and modulation of from facedes,—and will normally lockude terracking of upper floors and modulation of from facedes,—and will normally lockude terracking of upper floors and modulation of from facedes,—and will normally lockude terracking of upper floors and modulation of from facedes,—and will normally lockude terracking of upper floo |
| of the subject prop | perty on La | ike Stree | t South | 1. Build | dings ex | xceedi | ng two | <u>L</u> | | view corri | Trevoca vis. |
| stories shall be rev compliance with t | he design i | ougn Pro regulatio | ns of S | ection: | <u>nail de:</u> 50,65 a | <u>monsti</u> nd all | <u>rate</u> provisions | q _ | | | the height exceptions identified in Section 50.62 and 115.60.2.d PAGE which exceeds 28 feet above the abutting right-of-way. |
| of the Downtown | Plan | | | | | | | <u> </u> | For p | urposes of ight-of-way | measuring building height, if the subject property abuts more than the applicant may choose which right-of-way shall be used to wed height of structure. |

| USE ZONE CHART | | | SPECIAL REGULATIONS | May be permitted only if it will not unreasonably impede pedestrian movement or create traffic safety problems. May install items! route and information signs and markers. | | 4. May not use land waterward of the high waterline to determine tot size or to calculate altowable density. | The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. | no . 2. The design and facilities of the park should emphasize its waterfront location. | See Section 18 of this Chapter for regulations regarding builtheads and land surface modification. In addition, refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. | 4. This development may also be regulated under the City's Shorethe Master Program; consult that document. | 5. May not use land waterward of the high waterfine to determine lot size or to calculate allowable density. | E. South of 2nd Avenue South and west of Lake Street South, maximum height of eirusture is 41 foot- -above everage building elevation: | 7.—Buildings exceeding 35 teet above exerage building elevation abell be permitted only if design for the choices are arrested to mistance acceleration that a measurement and the choices are arrested to mistance acceleration to the contract of the contra | human cola from abuting rights of way end public open spaces. In meding this requisiment. human cola from abuting rights of way and public open spaces. In mading this requisiment. | Ú | Lake Street South shalf be reviewed through Process IIB. Buildings exceeding one story shall demonstrate compliance with the Design Regulations of Section 50.65 and all provisions of | the Downtown Plan. Through Process IIB the City shall find that any allowance for additional height is clearly outweighed by identified public benefits such as through-block mathic nedestrian access on through-block view corridors. | PAGE | structure which exceeds 28 feet above the abutting right-of-way. | For purposes of measuring huilding height, if the subject property abuts more than one right. of-way, the applicant may choose which right-of-way shall be used to measure the allowed height of structure. |
|---|----------|----------------|--------------------------|---|---|--|---|---|--|--|--|---|--|--|---------------------|--|---|--|---|---|
| USE | S3 | IJΨ | REQUIRED PARKING SP | None | | | Sed | 105.25 and Section 60 | of this Chapter. | | | | | | Along Lake Street | ake Street Somonstrate o | e Downtow Iditional hei | no case sha | ructure which | For purposes of m of-way, the applic height of structure |
| | | | CVIECOKY SIGN | Sec. Sec. Sec. Sec. Sec. Sec. Sec. Sec. | · | | | | | | | | | | | | 를 뭐 : | - | | _, _,_, |
| THOMS | | | LANDSCAPE CATEGORY | , | | , , , , | ! | | | | - 1 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 | | | | <u>.</u> | • | <u>~</u> 0. | ntage | <u> </u> | ions _2. |
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| THEN, | MAX | 3: | LOT COVERAG | 1009 | | | | | | | | | | | | | · | idpoir | igs ex | .65 an |
| to lind use. | | RDS | REAR | 0 | | | III be determined on case-by-case basis. | , | | | | | | | | | : | ight of it the m | Building | tion 50 |
| , reed down | MS | REQUIRED YARDS | SIDE | 0 | | | III be dete case-by-c | | | | | | | | | | | num he asured | South. | s of Se |
| ľ | MINIMUMS | REQ | FRONT | | | | | | <u>.</u> | | | | | | | | | as me | Street h Proc | lation |
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| SNO |)IT. | V I | лээл () Ё () ё | Public Transit Shelter | | | Public Park | | <u>-</u> - | | | | | | | | ZC-CBD2L/5-5-93 | South of Second Avenue South, maximum height of structure is inree stories above Lake Street South as measured at the midpoint of the frontage | of the subject property on Lake Street South. Buildings exceeding two | compliance with the design regulations of Section 50.65 and all of the Downtown Plan |

50.18 Bulkhead and Land Surface Modification

1. Bulkheads

- a. <u>General</u> Bulkheads are permitted in this zone subject to all of the conditions and restrictions of this Section. A permit may be required from the U.S. Army Corps of Engineers. Consult with that agency for further information.
- b. Allowable Reasons A bulkhead may be constructed only if--
 - It is needed to prevent significant erosion due to wave action; and
 - 2) The use of vegetation will not sufficiently stabilize the shoreline to prevent significant erosion.
- Prohibited Location A bulkhead may not be erected within a wetland or between a wetland and the lake.
- d. <u>Design of Bulkhead</u> The bulkhead must be designed to minimize the transmittal of wave energy to other properties.
- e. <u>Placement of the Bulkhead</u> The bulkhead may not extend waterward of the high waterline. If there has been severe and unusual erosion within one year preceding the application for the bulkhead, the City may allow the placement of the bulkhead to recover the dryland area lost by this erosion.
- f. Change in Configuration of the Land Except as allowed under paragraphs 2 and 3 of this Section, alteration of the horizontal or vertical configuration of the land must be kept to a minimum.
- g. <u>Backfill</u> The extent and nature of any backfill proposed landward of the bulkhead must be approved by the City.

Land Surface Modification Waterward of the High Waterline.

- a. <u>General</u> Land surface modification waterward of the high waterline is permitted in this zone subject to all of the conditions and restrictions in this Section.
- b. Required Permit. The City will use Process IIB, described in Chapter 152 of this Code, to review and decide upon an application for a land surface modification waterward of the high waterline. This activity may also require a permit from the U.S. Army Corps of Engineers. Consult that agency for further information.

- c. <u>Allowable Reasons</u>. The City may approve an application for a land surface modification waterward of the high waterline only if:
 - The land surface modification will not result in erosion of the shoreline or undermine stability of neighboring properties; and
 - 2) Either:
 - a) The application is filed by a public agency to improve navigability, or public safety; or
 - b) The application is to create a public use or recreation area; or
 - c) The application is for dredging to remove silt or sediment deposited because of severe and unusual erosion or resulting from the existence of a bulkhead on nearby property.
- d. Requirements for Dredging. If the land surface modification involves dredging, the following regulations apply:
 - Dredging spoils may not be deposited in Lake Washington and may be deposited on the subject property only if this is part of an approved development activity on the subject property.
 - The applicant shall restore any beneficial vegetation disturbed during dredging.
- e. Requirements for Fill. If the land surface modification involves fill, the applicant must comply with the provision of paragraphs 3.d and 3.e of this Section.
- 3. Land Surface Modification Within the High Waterline Yard.
 - a. <u>General</u> Land surface modification in the high waterline yard is permitted in this zone subject to all of the conditions and restrictions of this Section. This activity may also require a permit from the U.S. Army Corps of Engineers. Consult with that agency for further information.
 - b. <u>Allowable Reasons</u> The City may approve an application for a land surface modification within the high waterline yard only if--
 - 1) No unique or significant natural area of flora or fauna will be destroyed; and
 - 2) Either
 - a) The application is filed by a public agency to improve public safety, recreation, or access; or

- b) The application is part of a development proposal for the subject property and is to improve access to a pier or beach; or
- c) The land surface modification is necessary to provide public access; or
- d) The land surface modification is necessary to the structural safety of a structure; or
- There has been severe and unusual erosion within one year directly preceding the application and the land surface modification is to restore the shoreline to its configuration prior to this erosion;
- f) This application is part of an application for a bulkhead approved under paragraph 1 of this Section. For backfill landward of a bulkhead, see paragraph 1.g. of this Section.
- c. Public Use Area Required If the land surface modification within the high waterline yard is proposed as part of a development other than a small moorage facility, the City shall require that part of the high waterline be developed as a Public Use Area. The size and design of the Public Use Area must be specifically approved by the City based on the size of the subject property, the use on the subject property, and the ability to use design features to separate the Public Use Area from the private elements of the development.
- d. <u>Material Used For Landfill</u> The material used in a landfill must be non-dissolving and non-decomposing. The fill material must not contain organic or inorganic material that would be detrimental to the water quality or the existing habitat.
- e. <u>Use of Vegetation</u> The applicant shall stabilize exposed areas left after land surface modification with vegetation.
- f. <u>Disposition of Excavated Materials</u> Dredging spoils may not be deposited in Lake Washington and may be deposited on the subject property only if this is part of an approved development activity.
- Land Surface Modification Landward of the High Waterline Yard Land surface modification landward of the high waterline yard is regulated like land surface modifications throughout the City. See Chapter 115 of this Code for those regulations.
- 5: <u>Emergency Measures</u> An applicant may erect a temporary bulkhead and take other emergency measures to protect against harm to persons or property resulting from imminent and unanticipated natural hazards. The area modified must be restored to the condition that existed immediately prior to any emergency modification as soon as practicable after the emergency.

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| | Zone H S | | | | SPECIAL REGULATIONS | The development of the subject property and edjacent rights-of-way must be consistent with the regulations of Section 65 of the Chapter. | wretiled in this Zone: | at, service, or rental. • brough facilities. | No portion of a structure within 100 feet of the southenty boundary of Second Avenue South sbutting Ptanned Area &C may exceed 25 feet above average building elevation. | Primary vehicular access to the subject property may not be directly from Second Avenue South between Second Street South and State Street unless no other attentialitie exists. | Andlary assembly and manufacture of goods on the premises of this use are permitted only it: a. The assembled or manufactured goods are dready related to and dependent upon this use, and are avaitable for purchase and removal from the premises. b. The outward appearance and impacts of this use with ancitary assembly or manufacturing addition must be no different from other retail uses. | A use browing the preparation and consumption of food may include, as part of the use, accessory seating it. | The senting and associated choulation area does not exceed more than 10% of the gross floor area of this use; and it can be demonstrated to the Chy that the floor plan is designed to preclude the seating area from being expended. | any portion of a structure is adjoining a low density zone, then either: The height of that portion of the structure shall not exceed 15 feet above average building | esvention, or the horizontal length of any lacade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in with. See the Section in Chapter 115 entitled "Distance Between Structures Regarding Maximum Horizontal Feature Feduration" for further details. | Site and building design must include installation of pedestrian inkages consistent with the major pedestrian rodes in the Downtown Plan chapter of the Comprehensive Plan. | REGULATIONS CONCLUDED ON NEXT PAGE | For other information about periting and partiting areas, eee Chapter 105. For details of the regulations in this oxiogony, see Chapter 100. | For information of the regulations in this category, see Chapter 155. For details of what may exceed this height first, see Chapter 115. For details regarding required yards, see Chapter 115. |
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| C S S REGULATIONS | REQUIRED REVIEW PROCESS | LOT SIZE | FRONT | SUE A GENERAL A | REAR | LOT COVERAGE | HEIGET OF STRUCTURE | LANDSCAPE | SIGN | REQUIRED PARKING SPACES | SPECIAL REGULATIONS |
| ny fietail stabishment, other en those sectically listed, nited, or prohibited this Zone, setting socia or providing sovices, including antique and services sortimus() | <u>स्त्र</u> | 3 | E . | 15 | 24 | 3 | SH & | 120 | 80 | X & | 9. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. 10. Landscape Category B is required if the subject property is adjacent to Planned Areas 6C, 6D, or 6J. 11. The required front yard for this use shall be 0' for one story at street lev No parking may encroach into the required 20' front yard. |
| rivele Lodge or the Sec. Sec. 3 | A.D.R. Chapter 142 | None | 20'- 1928 1924 1264 9 | a | a | 90% | 3 - HOEASY 30 feet above average building severation. See Special Regulation 3. | D See Special Reg. 7 | 8 | See Section 105.25. Geo- Oscilion 60- of this- Chapter. | 3. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. 2. Primary vehicular access to the subject property may not be directly from Second Avenue South between Second Street South and State Street unless no other alternative exists. 3. No portion of a structure within 100 feet of the southern boundary of Second Avenue South abutting Planned Area 6C may exceed 25 feet above average building elevation. 4. If any portion of a structure is adjoining a low density zone, then either: a. The height of this portion of the structure shall not exceed 15 feet above average building elevation, or b. The horizontal length of any tacade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in width. See the Section in Chapter 115 entitled "Distance Between Structures Regarding Maximum Horizontal Fecade Regulation" for further details. |
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FOOTNOTES

For details of what may exceed this height limit, see Chapter 115.
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This use may be located on the Kirkland Avenue level of a building only if there is an intervening retail storefront between this use and the right-of-Revised 4/80 No portion of a structure watern 100 feet of the southern boundary of Secord Avenue South abutting Chapter 115 contains regulations regarding home occupations and other accessory uses, facilities, and achidies associated with this use. São and building design mud includo installation of pedestrien linkages consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan. The development of the subject property and exposnt rights of very must be consistent with the regulations of Section 65 of the Chapter. **PAGE** The height of that portion of the structure shalf not exceed 15 fect above average building **96F** b. The horizontal length of any facede of that position of the extructure which is parallel to the Seo the Section in Chapter 115 entitled "Distance Between Structures Regarding Maximum Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject Section 2.2 per end 1. For this use, only one dwelling unit may be on each lot regardess of size SPECIAL REGULATIONS Planned Area 6C may exceed 25 feet above average building elevation. if any position of a structure is a dipiring a low density zone, then either: boundary of the low density zone whall not exceed 50 feet in width. For other information about pertang and pariting areas, see Chapter 105 For details of the regulations in the category, see Chapter 100. For information of the regulations in this category, see Chapter 95. For details of what may exceed this height limit, see Chapter 115. For details regarding required yourle, see Chapter 115. CBD-3 Zone Horizontal Fecerto Regutation* for further details. 2. This use may only be located west of State Stree **USE ZONE CHART** ¥ 4 1.7 per und. Castlen 65 utitles elements may not exceed 25% of the length of the facade of the structure. SVIRTING SSVCES REGULEED Ground floor porches and similar entry features may encroach into the required front yard, provided the total horizontal dimensions of such CYLECOKA < SICH CVIECOEL TVHDSCVLE DIRECTIONS: FIRST, need down to find use... THEN, accoust for REGULATIONS ٥ everage building elevation. See Special Regulation 2. If adjoining a low demaity SO-test lebovo overage building elevation. Otherwiso. 30' above core, then STRUCTURE 25' abovo overage building elevation. MAXIMUMS HEICHT OF TOL COLERVOR Š ğ 化加 õ REAR REQUIRED YARDS 5, but 2 elde yerth must be at teast 2DE 0 MINEMUMS 3 -3 الإ Ŕ Ŕ TNORT 3,600 84. ft. TOL SISE FOOTNOTES BEAIEM BROCE22
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elements may not exceed 25% of the length of the facade of the structure. Ground floor porches and similar entry features may encroach into the 8. Landscape Category C to required if the subject property is adjacent to Planned Areas 6C, 6D, or 6J. Revised 4/93 No portion of a structure within 100 feet of the southern boundary of Second Avenue South abuilting Site and building dealign must include installation of pedestrian instages consistent with the major 1. The development of the subject property and expecent rights-of-way must be correlated with the requirestront yard, provided the total horizontal dimensions of such Primary vehicular access to the subject property may not be directly from Second Avenue South The height of that portion of the structure shall not exceed 15 leet above average building PAGE The horizontal length of any facacie of that portion of the structure which is penalish to the See the Section in Chapter 115 entitled 'Uktanos Between Shuctures Regarding Machinim 596 Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject Section between Second Street South and Stete Street unless no other ellernative extate. pedestrian rouses in the Downtown Plan chapter of the Comprehensive Plan. Planned Area &C may exceed 25 feet above overage building elevation. SPECIAL REGULATIONS Il any portton of a ctructure is actioning a low density zone, then other: boundary of the low density zone ethel not exceed 50 feet in widh. For other information about parking and parking stees, see Chapter 105 No pariding to required for day-cone or achool ancillary to the use For betormation of the regulations in this category, see Chapter 95. For details of what may exceed this height limit, see Chapter 115. For details regarding required yords, see Chapter 115. For details of the regulations in this calegory, see Chapter 100. **CBD-3** Zone Hortzontzi Fecado Regutzilon tor tuther detata, regulations of Section 65 of the Chapter **USE ZONE CHART** 4 occapency treet of any area of worstby. See Spec. Reg. 6. poople based on maximum every four PARKING SPACES RECUIRED CATEGORY PICH CATEGORY FIRST, mad down to find use... THEN, across for REQUILATIONS elevation. See Special Regulation 3. STRUCTURE comeva **Dulidang** ğ LOT COVERAGE \$ BEVE 0 REQUIRED YARDS ZIDE 0 MINIMUMS 3 4 3 Ŕ TNOAT DIRECTIONS: TOL SISE SELONFOOR KEATEM BROCESS
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| | Section | 50.20.1 | | , | correlaters with the | Avenue South abutting | n the subject property | ned Areas &C, &D, or &J. | sverage building | and of leafances | | ord maxetonic | istest with the major I. | y to the subject property. | nsions of such | nt or create traffic | Islent with the major | | - | Revised 4/93 | 20.6 | PAGE | 196 |
| | | CBD-3 5 | | SPECIAL REGULATIONS | The development of the subject property and edjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. | No portion of a structure within 100 feet of the southerly boundary of Second Avenue South abuiting Planned Area &C may exceed 25 feet above average building elevation. | Landscape Category A or B may be required depending on the type of use on the subject property and the impacts associated with the use on nearby uses. | Landscape Category C is required if the subject property is adjecent to Plenned Areas 6C, 6D, or 6J. | if any portion of a structure is adjoining a low density zone, then either: a. The height of that portion of the structure shed not exceed 15 feet above average building | obsertion, or The horizontal learns of any familie of their continued the structure which is named to the | or, the instrumentation of the contract of the profession of the contract of t | The first control of the further details. | Ste and building design must include installation of pedestrian linkages consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan. | 7. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. 8. Ground floor porches and similar entry features may encroach into the | requiretront yard, provided the total horizontal dimensions of such elements may not exceed 25% of the length of the facade of the structure | May be permitted only if it will not uneasonably impede pedestrian movement or create traffic select problems. | Site and building design must include installation of pedeatrian lintages consistent with the major pedestrian routes in the Downsown Master Plan of the Comprehensive Plan. | May Install transil toute and information signs and markers. | | | For other information about parking and parking areas, see Chapter 105. | For details of the regulations in this category, see Chapter 100. | For details of what may exceed this helpti ani, see Chapter 115. For details reparding required years, see Chapter 115. |
| USE ZONE CHART | | | | · · | 1. The developm regulations of 8 | 2. No portion of a Planned Area (| 3. Landscape Car and the Impact | 4. Landscape Cal | 5. If any portion on. The height | olevetion, or | boundary o | Hotzontel Fac | Site and building pedestrian rout | 7. Peter to Crapt | require | May be permitte ealely problems. | 2. Site and buildin pedestrian rout | 3. May breded tran | | | For other broomed | For details of the r | For details of setail For details regard |
| USE 2 | | S3 : | ED C SPAC | PARKIN | Seo Section | Section 80 | in | | | | | | | | | None | | | | | | | |
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| TO NS | | | | CATEGO LAMBSCA | υ 2 | Reg. 3 | | ي ۵ | Special Reg's 3 | 400 | | | | - | | ! | | | · · · · · · · · · · · · · · · · · · · | | - | | |
| FIRST, med down to lind use THEM, ecrose for REGULATIONS | MAXIMUMS | | OF OF | alknei Reichl | 39 featrabove average fixillating | _] | į | | | | | | | | | | elevation | | | | - | | |
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| og pa | ङ् | REQUIRED YARDS | | SIDE | ٥ | | | _ | | | | | | | _ | 0 | | | | | \parallel | | |
| l . | MINIMUMS | REO | | FRONT | × 2 | N N N | <u> </u> | | | | | | | | | 0 | | | | | | | |
| TIONS | ءُ ا | | 37 | us toj | None | | | | | | | | | • | | None | | | | | | | |
| DIRECTIONS: | s | SE: | ED | BEAIEN BEGNIN | A.D.R. Chapter | ! | | | | | | | | | | None | | | | | | | O 引 形 S |
| SNO |)II | VI | EGU) | . 分 口 | Public Utility | | | Government Facility or Community | Facility | | | | | | | Public Transit Sheller | | | | 2C-CBD3/4:30-83 | | | ECOTIONES |

| USE ZONE CHART | alloz | XXC | SPECIAL RECULATION | 1 | For other information about partiting and partiting areas, see Chapter 105. PAGE For details of the regulations in this category, see Chapter 100. For information of the regulations in this category, see Chapter 95. For details of what may acceed this height time, see Chapter 115. |
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| ZONE CHART | | ^ | | - 4 6 4 | For other information about parking the regulations in the For between of the regulations For details of what may acceed the For details regarding required year. |
| USE | | | | Section 165.25. | |
| ā S | - | XXC | 21CH CVIECO | , | |
| FRST, seed down to find use THEM, across for REGULATIONS | MAXIMUMS | anoi | EVADECE REICE | 20 feet stoove average building elevation. See Special Regulation 3. | |
| ## THEN, # | MAX | WERAGE. | 101 co | * T | |
| down to find | | REQUIRED YARDS | REAR | or o | |
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| DIREC | l « | SED W PROCES | REQUI | A.D.R. | OTES |
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| <u> </u> | | | 414114.07 | MC | | 144 | XIMUMS | | T | | Zone Section |
| - Y | 8 | | AINIMU BEO | UIRED Y | ARDS | | Almons | 1 | } | 貿 | CBD-4 50.25.c |
| REGULATIONS | REQUIRED REVIEW PROCESS | gzzs J | FRONT | | | COVERAGE | HEIGHT OF STRUCTURE | LANDSCAPE | SIGN | REQUIRED PARKING SPACES | |
| ~ 5 | 32.5 | 53 | | SIDE | REAR | 3 | 3 5 | 33 | 83 | 82 | SPECIAL REGULATIONS |
| Entertainment, Cultural, andlor Recreational Feality Hotel or Motel | A.D.R. Chapter 142 | None | O See Spec. Reg. 2. Just 7-3 | 0 | d shore | | 52-feet above average building elevation or existing grade. See Special Regulations 3, 4,5, and 6. | D See Special Reg. 12- II D See Special Reg. 12- II | E | | The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. Structures east of Second Street South shall be set back 20 feet from Second Avenue South. Height of structure may be measured above adding grade or average building elevation, but not both Maximum height of structure is 55.4 feet above average building elevation west of 2nd Street South, including any adjacent structure in CBD-1 west of 2nd Street South developed with a structure in this zone. No portion of a structure within 100 feet of the southerty boundary of Second Avenue South abunting Planned Area 6C shall exceed 25 feet. Structures shall be modulated and tenaced on the hillidor. The tailest building forms shall be grouped towards the center of the subject property with towards the pertendent of the subject property. His first subject property with towards the pertendent of the subject property. His first subject property with towards the pertendent of the subject property may be increased by 10 feet if the applicant provides subtermines on the subject property may be increased by 10 feet if the personal pertendent of the subject property on the Paramed Unit Development, Chapter 125 of the paragraph will be reviewed and decided upon as a Planned Unit Development, Chapter 125 of the paragraph will be reviewed and decided upon as a Planned Unit Development, Chapter 125 of the personal trib additional periting to sufficient to allow the increase in height and building meas. No aspect or component of the use, including hotel/motel rooms and open dining areas, may be oriented toward. Second Avenue South. Primary vehicular access to the cubject property may not be directly from Second Avenue South between Second Street South and State Street unless no other alternative addition. The parking requirement for hotel or motel use does not include parking requirements for |
| | | | | | | | features ma orizontal din | | | to the | meetings and convention facilities. Additional parking requirements for encillary uses shall be determined on a case-by-case basis. |
| i | elen elen | nents ma | i yard. | exceed | 25% of | the le | ngth of the | facade o | of the | structure. | 40: If any portion of a structure is adjoining a low density zone, then either: a. The height of that portion of the structure shall not exceed 15 feet above average building elevation, or b. The horizontal length of any facade of that portion of the structure which is parallel to the |
| 70.000.00 | | <u> </u> | } | | | | | | } |] | boundary of the low density zone shall not exceed 50 feet in width. |
| ZC-CBD4/4-27-03 | | <u> </u> | 1 | | <u> </u> | <u> </u> | | └ -, | ! _ | <u> </u> | REGULATIONS CONCLUDED ON NEXT PAGE Revised 4/50 |
| FOOTN | OTES | | | | | | | | | | For other information about parking and parking areas, see Chapter 105. For details of the regulations in this category, see Chapter 100. For information of the regulations in this category, see Chapter 95. For details of what may exceed this height limit, see Chapter 115. 97C |

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| | Section 1 | 50.25.0c | | ording Maximum 10. | Area 6C. | ly to the subject | ocrafiatent with the | nd Avenue South. | ing alevelon, but not- | rest of Second Street ith developed with a | | | Revised 4/53 | PAGE 97D |
| | | Z | SPECIAL REGULATIONS | See tho Section in Chepter 115 ortified "Distance Between Structures Regarding Maximum Horizontal Facade Regardion" for further details. 10. 11: Development shall not isolate any exhibits deteched dwelling unit in this zons. | 42. Landscape Cetagory B is required if subject proporty is editional to Planned Area 9C. | 1-8. Refer to Chapter 1 to defarmine what other provisions of this Code may apply to the subject property. | The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of the Chapter. | 2. Structures east of Second Street South shall be set back 20 feet from Second Avenus South. | 3. Helgts of structure may be measured above existing grade or average building elevetion, but net- beth: | 4. Maximum height of structure is 55.4 feet above average buiking elevation west of Second Street South, including any adjacent structure in CBD-1 west of Second Street South developed with a structure in this zone. | 5. No portion of a structure within 100 lead of the southerty boundary of Second Avenue South abusing Planned Area Oc shall accord 25 leat. Structures that be modulated sard terrecord on the hilbabot. The tellest building forms that to grouped towards the service of the explost property with leave. One compensate towards the perhapter of the subject property. NO. (Doplas) OP. A STRUCTURE. One measurements towards the perhapter of the subject property may be kneeseed by 18 feet if the applied property of the propesed structure evaluable for such periods. They proposed under the paragraph will be reviewed structure evaluable for such periods. Any proposed under the paragraph will be reviewed structured they benefit benefit derived the Code. As past of the PUD process; the City will determine this public benefit derived from providing the sedification of the subject them providing the sedificant and building mate, | * | REGULATIONS CONCLUDED ON NEXT PAGE | For other information about parting and parting areas, see Chapter 105. For deteits of the regulations in the calegory, see Chapter 100. For information of the regulations in this category, see Chapter 95. For details of what may exceed this height limit, see Chapter 115. For details regarding required yauts, see Chapter 115. |
| USE Z | 9 | GE) | SVEKUNC 25V REGUIRED | 卢 | One per each 350 | groes floor | Section 98 | | | S | | | | |
| | _ | | CVIRCONA SICH | | | | ш | | | | | | | |
| ATIONS | _ | | CVIECOS! | | · | · | ٠ <u>٠</u> | 7 E | \$ 2 | | | | | |
| PRST, ned down to lend use THEN, scross for REGLLATIONS | MAXIMUMS | | HEIGHT OF | | | | 62 feet above overage | elevetion | grade. See Special | Avr | | | | |
| THEN, I | MAX | | LOT COYERAG | | | | 200 A | 1 | | | | | | |
| en bul of | | RDS | яктя | | | | 4 | | | | | | | |
| ned down | MS | REQUIRED YARDS | 3ŒS | | | - - | • | | | | | | | |
| 1 1 | MINIMUMS | REQ | FRONT | | | | 0 8 | , d | 10 | | | | | |
| DIRECTIONS: | Ā | | JZIS TOJ | | | | None | | | | | | | |
| DIREC | S | CE | REQUIRED PRO | | | | A.D.R. Chapter | į | | | | | | OTES |
| SNC |)IT. | ∀7 1 | nose 🗘 | Entertakenent, Cuttural, endor Recreational Facility (continued) | Hotel or Motel | (contraction) | Any Retail Establishment, other | specifically inted | in this zone, sealing goods or providing | bornios scales bornios and related financial serviceo. | | | ZC-CBD4/4-27-83 | FOOTNOTES |

| | Section | 50.25.е | | Ş | trom Second Avenue South metive addth. | s use are permitted orby it: I dependent upon this use | seembly or manufacturing | e, as part of the use, accessory | is preclude the sealing area | er: abovo averace building | which is puralled to the | se Regarding Maximum | | Named Areas 6C. | nay apply to the subject property. | s may encroach into the | d dimensions of such the facade of the structure | - | Revised 4/93 | PAGE | 97E |
|----------------------------|----------|----------------|------------|---------------------|--|--|---|---|------------------------------|---|---|---|--|---|---|--|--|---|-----------------|--|--|
| USE ZONE CHART | 700ve | CBD-4 | | SPECIAL REGULATIONS | -8- Primary withouts: access to the subject properly may not be directly from Second Avenue South between Second Street South and State Street uniess no other elternative outdo. | -8. Anothery assembly and manufacture of goods on the prembes of this use are permitted only it. On The assembled or manufactured goods are directly related to und dependent upon this use and an emissible for purplesse, and removed from the normalise. | b. The adverted expensations and impacts of this use with ancillary seventity or manufacturing activities axist be no different from other rettal uses. | -fer. A use trivoking the preparation and consumption of food may include, as part of the use, accessory seating it. The matter and seasonabled strengthed and strengthed and seasonable | | 14: It say position of a structure is adjoining a low density zone, then either: a. The height of that position of the structure shall not exceed 15 feet above average building | elevation, or D. The horizontal length of any lecade of that portion of the structure which is parallel to the horizontal femiliary frame that in account of feet in addition. | See the Section in Chapter 115 entitled "Distance Between Stuctures Regarding Maximum Horizontal Facedo Regulation" for harher details. | 42. Development shall not isolate any existing detached unt in this zono | 18- Landscape Category B is required if subject property is adjacent to Planned Areas &C. | 44. Refer to Chapter 1 to determine what other provisions of this Codo may apply to the subject property. | 2. Ground floor porches and similar entry features may encroach into the | require front yard, provided the total horizontal dimensions of such elements may not exceed 25% of the length of the facade of the structure. | | | For other briometion about parking and parking areas, see Chapter 105. For details of the regulations in this calegory, see Chapter 100. | For information of the regulations in this category, see Chapter 95. For details of what may exceed this height limit, see Chapter 115. For defails regarding required yards, see Chapter 115. |
| USE ZO | | CES | NC 25V | REQUI | ۴ | 100 | ·· | d l | | 희 | | | =1 | -17 | 다 + | | | | | | |
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| or REGULATIONS | | • | | CATEG CATEG | | | | | | | <u>-</u> | | | | | | | | | | |
| | MAXIMUMS | | | HEICH SLKOC | | | | | | | | | | | | | | | | <u> </u> | _] |
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| m to find use THEN, across | | ARDS | | REAR | | | <u>.</u> | <u></u> | | | | | | | | | | | - | | |
| FIRST, need don | SMI | REQUIRED YARDS | | SEDE | | | | | | | | | | _ | | | | | | - | |
| 1 1 | MINIMUMS | E B | | INOSE! | | | | | | | | | | | | | | | | } | |
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| DIRECTIONS: | s | SIO | W PRO | REQUI | | | | | | | | | | | | | | | | | OTES |
| SNC | OIT | . Y 7 | reen] | ☆ | Any Roted Establishment, other | specifically listed, traited, or prohibited to this zeno, setten | poots or providing services including | franchii serviceo (continued). | | | | | | | | | | | 2C-CBD4/4-27-93 | | FOOTNOTES |

| ş | DIRE | CTIONS | S: FIRS | T, med do | on to that us | THEN, | across for REGUL | ATIONS | | USE 2 | ONE CHART |
|---------------------------------------|-------------------------|-----------|-------------------------|---------------|---------------|----------|---|-----------------------------------|------------------|---|--|
| S S S S S S S S S S S S S S S S S S S | REQUIRED REVIEW PROCESS | SIZE | | MS UIRED Y | ARDS | COVERABE | XIMUMS | SAPE ORY | ORY | REQUIRED PARKING SPACES | Zone Section 50.25.f |
| ₩ | REQUI | S TOJ | FRONT | SIDE | REAR | 20. | HEIGHT OF STRUCTURE | LANDSCAPE | SIGN CATEGORY | REQUI | SPECIAL REGULATIONS |
| Privato Lodgo or Ciulo | A.D.R. Chapter 142 | None | Seo Spec. Reg. 2 AdD | 0 | 4 - 102 | 100% | 52-feet-ebovo sverago building elovation or disting grade. See Special Regulations 3, 4,5, and 6. | D Sec Special Reg. 40-91 | 8 | Sea Section 105.25 and Section 89- of this- Chapter. | 1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. 2. Structures east of Second Street South shall be set back 20 feet from Second Avenue South. 3. Height of structure may be measured above adulting grade or average building elevation, but not both. 4. Maximum height of structure is 55.4 feet above everage building elevation wast of Second Street South, including any adjacent structure in CBD-1 wast of Second Street South developed with a structure in this zone. 5. No portion of a structure within 100 feet of the southerly boundary of Second Avenue South abuilting Planned Area 6C shall accord 25 feet. Structures shall be included and terrecord on the hillside: The telest building forms shall be grouped lewards the confer of the subject property with lower-compensate lewards by partmeter of the subject property. LiD Rizhad CH A STRATUZE 20 CH AREA STRATUZE 3. The maximum beight of structures on the subject property may be increased by 13 feet if the applicant provides subtermenon parking for uses in the CBD-1 and CBD-2 zeroes or makes a portion of the subject property and being the additional parking on alle is sufficient to allow the increase in height and building mass. 7. Primary vehicular access to the subject property may not be directly from Second Avenue South between Second Street South and State Street unless no other charmative exists. 8. If any portion of a structure is adjoining a low density zone, then either: a. The height of that portion of the structure shall not acceed 15 feet above average building elevation. or |
| ZC-C8D44-27-93 | reg | uiredfror | it vard. | provid | led the t | otal ho | features ma orizontal din ngth of the | <u>nension</u> | s of su | ich structure, 8. | b. The horizontal length of any facude of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feel in width. See the Section in Chapter 115 entitled "Distance Between Structures Regarding Maximum Horizontal Facada Regulation" for further details. 9r Development shall not isolate any detached dwelling unit in this zone. 10. Landacape Category C is required if subject property is adjacent to Planned Area 6C. 11. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. Revised 4/93 |
| FOOTN | OTES | | : | | | | | | | | For other information about parking and parting areas, see Chapter 105. For details of the regulations in this category, see Chapter 100, For information of the regulations in this category, see Chapter 95. For details of what may exceed this height limit, see Chapter 115. For details regarding required yards, see Chapter 115. |

| - | 97G | | s category, see Chapter 95. (git Brill, see Chapter 115. In Chapter 115. | For details of the regissions in this category, see Chapter 95. For details of what may exceed this height limit, see Chapter 115. For details regarding required yards, see Chapter 115. | | | | | | | | | FOOTNOTES | NIC | FO |
|------------------|--|---|---|--|----------------|----------------|-----------------|---|-------------|----------------|--------------------|-------------|----------------|----------|----------------|
| | PAGE | ¢ 105. | sperking areas, see Chapte sgory, see Chapter 100. | For other information about parking and parking areas, see Chapter 105. For details of the regulations in this calegory, see Chapter 100. | | | , . | | L | | | | | | |
| <u>L</u> | nd Avenue South date. Revised 4/83 | y from Secor Mernative od AGE | se to the subject property may not be directly from we South and State Street unless no other alterna REGULATIONS CONCLUDED ON NEXT PAGE | - Primary vehicle access to the subject property may not be directly from Second Avenue South between Second Street South and State Street unless no other atternative outsts. REGULATIONS CONCLUDED ON NEXT PAGE Revis | (50 (50) | | | | | | | - | | 4-27-93 | ZC-CBD4W-27-80 |
| | embly and | uncillary nase: uses. | auch of this office use with a no different from other office | once use; and b. The outward appearance and impacts of this office use with anciliary assembly and manufacturing activities must be no different from other office uses. | ructure. | of the st | ne facade | elements may not exceed 25% of the length of the facade of the structure. | of the l | eed 25% | not exc | ants may | clems | | |
| | spendent on this | ete to and de | een by and insured use or goods on prenities may be permitted as part of an originality assembled or manufactured goods are subordinate to and dependent on this | use it: o. The end | the the | oach into | may encr | Ground floor porches and similar entry features may encroach into the | ilar entr | and sim | orches | nd floor. | 5. Grou | | |
| | g units. | laho dweling | d if the subject property cont | d. A velocit | | _ | | | | | **** | | R. C. | | - |
| <u> </u> | subject property. John tred with the A.D.R. | of permitted. suddle off the | ng regulations apply to veletinary offices only: If well small animals on the subject property. If well small animals on the subject property. If well small animals on the subject property. If he designed so that noise from this use will not be auctive off the bodispred so that noise from this use will not be auctive of the solution to this effect, signed by an Accoustical Engineer, must be a ling permit ecolosistica. | The following regulations apply to veletinary offices only: The following regulations apply to veletinary offices only: A. May only treat small arimate on the subject property. D. Quitable runs and other outside to this size for the arimate are not permitted. Size must be designed so that notes from this use will not be suctible off the subject property. A certification to this effect, eighted by an Accoustical Engineer, must be submitted with the A.D.R. and building permit expolications. | 16 | | - | | | | | • | i. | | |
| | nt, Ghapter 125 of this— Theneff derived from— sight and building waso.— | Developmen ar the public fications in the | ded upon as it Planed this ho Chy will determine what he is culicient to nitow he i | —pungaph wil be reviewed and decided aportus it Plansaci that Development. Chapter 125 of theCode. As part of the PAD precess, the City will delimine whatler the public beneft derived from | | | | | · | . | · | | | | |
| Τ. | by 13 test 5 the applicant dies a portion of the vocation of t | ting fury pro | un haight of structures on the traight properly may be increased by 13 feet 8 the applicant its manap parting for uses in the CBD 1 and CBD 2 tones or makes a perion of the perion of the proposed structure evaluable for such parting. Pity proposed structure evaluable for such parting. Pity proposed structure evaluable for such parting. | or sentitude to titled countries or The Proposot States of The Propo | 6. | | | - | | | | | | | |
| Ē | Preparty with lower A 4750 1050 United | be subject of the subject of | of a structure within 100 leet of the southerly boundary of Second Avenue South abuning of a structure within 100 leet of the southerly boundary of Second Avenue South abuning of a structure within expense of the subject preparty with lower expension perturbate of the subject preparty with perturbate of the subject preparty. Lib. (Defination of A 47701-102.0.0) Indicate the subject preparty. | Planned As Planned As The latest paraponers | , jo | | · | | | | | | | | |
| | est of Second Street th developed with a |) elevation we | eight of shucture is 55.4 feet above gverage bubuing elevation west of Second Stree ding any edjacent structure in CBD-1 west of Second Street South developed with a this zono. | Maximum height of structure is 55.4 feet above greenge bubling elevation west of Second Street South, including any ediacent structure in CBD-1 west of Second Street South developed with a structure in this zono. | Chapter | | 4 8 | Requisitions e, 4,5, and 0 | | | <u> </u> | | | | |
| . 'l_ | ng elevation, but not both: | rerega balldin | redura may be measured sbore existing grade or sverage building elevation, but not both. | L-Height of structure may be measured | Section 80 1 | | | or existing grade. See Special | <u></u> | | 120 | | | | |
| | d Avenue South | from Second | east of Second Street South while be set back 20 feet from Second Avenue South | Structures | gross floor 2. | | | odayele Oracio | | | 4 | | | | |
| • | consistent with the | way musi bo | pment of the subject property and adjacent rights-of-way must be consistent with the of Section 65 of this Chapter. | The develor regulations | One per 1. | 0 | | | NOON O | <u>-</u> | | Atomo | <u></u> | | Ottos Una |
| | | SNOL | SPECIAL REGULATIONS | SP | REQUI PARKI | SIGN CATEGO | LANDSO CATEG | HEIGH | REAR | SIDE | FRONT | LOT S | REQUI REVIE | ∇ | (|
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| | 50.25.g | 5(| CBD-4 | | CES | | | MAXIMUMS | 4 | REQUIRED YARDS | RIUDAR SWOWINIW | _ | CESS | LATI | |
| | Section | 5 | Zone | ZONE CHART | USE ZO | | EGULATIONS | FIPST, read down to find use THEM, spream for PEGULATIONS | 74 | ad down to | | DIRECTIONS: | DIREC | ONS | |

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| | | nonnae | 50.25.n | | is parallel to the parallel to the parallel to the parallel to the parding Maximum ine. d Area C. ply to the subject property. | consistent with the cond Avenue South that rolling sharetton, but not west of Second Street with developed with a did Avenue South southing | 4 property with fewers 3 Oc. 4 structure 4 by 13 feet # the applit 8 et meleus a portion of wy proposat under the ent, Cheptor 125 of the 44 beneft tunived from freight and building mese- Revised 453 | PAGE 97H |
| | | | CBU-4 5 | SPECIAL REGULATIONS | 40: If any portion of a structure is adjoining a low density zone, then eather; a. The height of that portion of the structure shall not exceed 15 feet above sverage building elevation, or b. The height of that portion of the structure which is parallel to the boundary of the law density zone shall not exceed 50 feet in width. See the Section in Chapter 115 entitled "Distance Belween Structures Regarding Maximum Horizontal Feace Regulation" for further details. 44. Development shall not isotate any existing detached dwelting unit in this zone. 44. Landscape Calegory C is required if subject property is adjacent to Planned Area C. 45. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. | The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chepter. Structures east of Second Avenue South shall be set back 20 feet from Second Avenue South. Halght of structure may be measured above esteting grade or overage truthing struction, but not-both. Maximum helph of structure is 55.4 feet above average building elevation west of Second Street South developed with a structure in this zone. No portion of a structure within 100 feet of the southerly boundary of Second Avenue South abuilting Pharmed Assa 6C shall strond 25 feet. Structure shall be modulated and decrease. | The referst formula the partners of the subject property. With Johnson Struck of the subject property with Johnson Struck of the subject property with Johnson Struck of the subject property of the subject property may be brosened by 19 feet if the application of the subject property at the partners on the subject property and CBD 1 and CBD 2 sense or melear a portion of the subject property at the proposal structure enable to each provide the property at the proposal structure enable to each provide the property at the proposal structure enable to each provide the property at the proposal structure enable to each provide the property at the PUD property at the CBy will determine whether the public benefit and building mensure and the subject provided from the subject property of the PUD property of the subject provided from the subject property and the subject property of the subje | For other information about parking and parking areas, see Chapter 105. For details of the regulations in this category, see Chapter 100. For information of the regulations in this category, see Chapter 95. For details of what may exceed this height limit, see Chapter 115. For details regarding required yards, see Chapter 115. |
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| | DIRECTIONS: | ß | CES | весивер Вечем Рко | | A DR. Chapter 142 | | OTES |
| | SNO | OIT | VI | тэж () Э <u>ё</u> | Office Uses (Continued) | 6 | ZC-CBD44-30-93 | FOOTNOTES |

| For details of the regulations in this category, see Chapter 100. For information of the regulations in this category, see Chapter 100. For details of what may exceed this height that, see Chapter 115. For details regarding required yurds, see Chapter 115. | R | REGULAT REQUIRED REQUIRED RECOVERAGE RONT REGULATION RECOVERAGE RANDSCAPE CATEGORY REQUIRED RANDSCAPE CATEGORY REQUIRED RANKING SPACES SPECIAL REGULATION REQUIRED RANKING SPACES |
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| risgory, see Chapter 100. PAGE ris category, see Chapter 95. reight that, see Chapter 115. see Chapter 115. 971 | resp Second Street South and State Street united property may not be directly from Second Averuse South eres Second Street South and State Street united no other alterative outsts. The height of that portion of the structure entail not occeed 15 leet above overage building hevestor, or The height of that portion of the structure which is parallel to the obundary of the low density zone shall not occeed 50 leet in which, the Section in Chapter 115 entailed Thistence Between Structure Plagurding Moutmum familiar Personal Regulation for further details. Pershing is required for daycare or achool and lary to the use. Pethyle and Required 1 to determine what other provisions of this Code may apply to the subject property is adjacent to Planned Areas 6C. Scround filoor porches and similar entry features may apply to the subject property. Cround filoor porches and similar entry features may apply to the subject property. Cround filoor porches and similar entry features may encroach into the elements may not exceed 25% of the length of the facade of the structure. Are the facade of the structure. | CBD-4 50.25.i SPECIAL REGULATIONS |

| For details of the regulations in this category, see Chapter 100. For information of the regulations in this category, see Chapter 100. For information of the regulations in this category, see Chapter 95. |
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| 4. Ground floor porches and similar entry features may encroach into the require front yard, provided the total horizontal dimensions of such elements may not exceed 25% of the length of the facade of the structure. |
| Chapter 115 contains regulations regarding home occupations and other accessory used, facilities, and activities associated with this use. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. |
| 2. Ground floor porches and similar entry features may encroach into the required front yard, provided the total horizontal dimensions of such elements may not exceed 25% of the length of the facade of the structure. 1. For this was, only one dwelling will may be on each tot regardless of lot size. |
| p. The set to the set |
| SPECIAL REGULATIONS 17. 15. If any poston of a structure is adjusted a low durably zone, then either: |
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| USE ZONE CHART |

| For other information about parking For details of the regulations in this for hidorization of the regulations in this for details of what may exceed this For details regarding required yard | Public Path ADR. Nono Will be belemished on a cash Chapter 142 Boodien Applications Graphs Applications Graphs Applications Applic | Public Tizznell None None 0 0 0 100% 15 feet above — Sea Nona 1. May be permitted only if it will in Shellor Spec. Spec. Problems. Spec. Problems. Problems. Spec. Problems. Prop. 2. May trainal transit route and into | REAR 88 | SWUMIXAM SWUMINIM 8 |
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| For other information about parking and parking areas, see Chapter 105. For details of the regulations in this category, see Chapter 100. For information of the regulations in this category, see Chapter 95. For details of what may exceed this height fimil, see Chapter 115. 97N | * () , () * , * , * , * , * , * , * , * , * , * | | CBD-4 50.25.n SPECIAL REGULATIONS | Zone Section |

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| USE ZONE CHART | Zona Castion | | CBU-5 50.30.0 | SPECIAL REGULATIONS | 1. The development of the subject property and adjacent tights-of-way must be consistent with the regulations of Saction 65 of this Chapter. 2. The intrinsim required yield abuting Peter Kith Park is 10 feet. Mo selbeak-is-required adjacent teach Street between 4th Avenue and Kithtand Massas. 2. The intrinsim required they are displand Juley, or adjacent is Rindand Way between 4th Street sequired adjacent of Rindand Way, as a selection. 3. No portion of a structure within 100 feet of Pater Kith Park shall succeed 450 test-stove sveings building selection. 4. No portion of a structure within 100 feet of Kithtand Way as measured at the midpoint of the frontage of the subject property on furthand Way, 42-feet. 5. Within 30 feet of Kithtand Way, 42-feet. 6. Within 30 feet of Kithtand Way, 42-feet. 7. Addition of the portion of the structure shall not succeed 15 feet shows average building olevedon, or the height of the portion of the structure shall not succeed 50 feet in width. 8. It is not contained the beautified Total and acceed 50 feet in width. 9. Access for the Drayer of 15 settled Total and Extraction Between Structures Regarding Maximum Hortowited Facetor Regulation* for hurther delatis. 9. Access for the Drayer of 15 settled Total and Extraction Between Structures Regarding Maximum Hortowited Facetor Regulation* for hurther delatis. 9. Access for diversity and the approved by the Public Works Department. 9. Landscape Calegory A is required if the subject property and striking or planned well-may on shifting properties. 10. Refer to Chapler 1 to determine what other provisions of this Code may apply to the subject property. | Ground floor porches and similar entry features may encroach into the Revised 400 required front yard, provided the total horizontal dimensions of such | elements may not exceed 25% of the length of the facade of the structure. PAGE Buildings exceeding 2 stories above average building elevation shall demonstrate compliance with the design regulations of Section 50.65 and the provisions of the Downtown Plan Chapter of the Comprehensive Plan. The City will use Process IIR to determine compliance |
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| DIRECTIONS: | | | | azis tol | aprier B. C. | | |
| DIREC | | S | SES | REQUIRED | If structure exceeds 2 stories above average building elevation, then Process IIB. Chapter 152. Otherwise. ADR, Chapter 142. | | FOOTNOTES |
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| | | | | E C | Restaurant | ZC-CBD5/4-27-93 | FOC |

| For details of the inquitations in this category, see Chapter 105. For details of white publishes in this category, see Chapter 105. For details of what may exceed this category, see Chapter 105. For details of what may exceed this height limit, see Chapter 115. | Any Please Editables (Compiler Editables) Editables (Compiler | REQUIRED REVIEW PROCESS LOT SIZE FRONT SIDE REAR LOT COYERAGE HEIGHT OF STRUCTURE LANDSCAPE CATEGORY SIGN CATEGORY REQUIRED PARKING SPACES |
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| this of the regulations in this category, see Chapter 100. PAGE meation of the regulations in this category, see Chapter 100. PAGE this of the regulations in this category, see Chapter 85. Is of what may exceed this height limit, see Chapter 115. 98D | The development of the subject property and adjacent rights of way must be consistent with the regulations of Section 65 of this Chapter. The minimum required yard studing Peter Kirk Park is 10 feet. No. author's to require decimal self-diseased to the service and Abstand Way, or adjacent to Minimum Way between 6th Sheet and Inc. Interescition of a structure within 100 feet of Peter Kirk Park shall acceed 39 feet above average building elevation. No portion of a structure above the elevation of Kirksand Way as measured at the midpoint of the fortings of the subject property on Kirksand Way, 89 feet. 1 AND TREES. Within 20 feet of Kirksand Way, 89 feet. 2 AND TREES. Within 20 feet of Kirksand Way, 89 feet. 3 AND TREES. Within 50 feet of Kirksand Way, 89 feet. 4 AND TREES. Within 50 feet of Kirksand Way, 89 feet. 4 AND TREES. Within 50 feet of Kirksand Way, 89 feet. 5 AND TREES. Within 50 feet of Kirksand Way, 89 feet. 7 AND TREES. Within 50 feet of Kirksand Way, 89 feet. 7 AND TREES. Within 50 feet of Kirksand Way, 89 feet. 9 Feet above overage building elevation of the structure which is paralled to the boundary of the burchure the algorithm of the structure beginning to the forting of the structure and not accessed 50 feet in width. 1 The hardward in the Department of the structure and not accessed 50 feet in width. 1 The hardward in the permitted in the Science Between Structure affects be paralled to the boundary of the broade Regulation of the structure which is paralled to the boundary of the broade Regulation of the superiors of the structure affects between Structure and paralled to the Section to Chapter 15 settled Tutisance Between Structures Regarding Maximum Horizontal Featile and the paralled to and dependent upon the use and are malked for purchase and removal trom the premises of this use are permitted only a send of the superiors of the use are permitted only a send of the superiors of the use of the superiors of the use of the superiors of the use of the superiors of the sup | CBD-5 50.30.d SPECIAL REGULATIONS |

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| | L | CBD-5 50.30.1 | SPECIAL REGULATIONS | 1. The development of the autherd property and exponent rights-of-way must be consistent with the regulations of Section 65 of the Chapter. 2. The minimum required year abusing Peter Kith Park is 10 feet. No selboart by Chapter of Wary between 6th Sired—off Streat Leavises 111 Avenue and Affected Wary or adhesed to Lither of Wary between 6th Sired—off Streat Leavises 111 Avenue and Avenue. 3. No portion of a structure within 100 feet of Peter Kith Park thail consect 35 leet above average building elevation. 4. No position of a structure above the elevation of Kinhand Way an ameauwed at the methodra of the trooping on Kinhand Way, 30 feet. 5. Within 50 feet of Kinhand Way, 30 feet. 6. Within 50 feet of Kinhand Way, 30 feet. 7. ACTAPLA. 8. If any portion of a tructure is adjoining a low density zone, then either: 8. If any portion of a tructure is adjoining a low density zone, then either: 9. Within 50 feet of Kinhand Way, 50 feet. 7. ACTAPLA. 9. Within 50 feet of Kinhand Way, 50 feet. 9. Within 50 feet of Kinhand Way, 50 feet. 9. Within 50 feet of Kinhand Way, 50 feet. 10. Within 50 feet of Kinhand Way, 50 feet. 11. The britzonial length of any factor of the portion of the structure which in paralel to the boundary of the of Kinhand Way and the arrickure shall not acceed 50 feet in width. 8. The antiture are must be physically integrated both in site and building design of paralel or the polysically integrated both in site and building end building estimation, and between well-ways on februaria minimum and the followers well-ways on the authord properties. 7. Landscape Category C is required if the authord property and existing or planned well-ways on februaria. 10. Chapter 1 to determine what other provisions of this Code may apply to the subject property. 11. Actocope Category C is required if the authord property and existing or planned with integrated properties. | elements may not exceed 25% of the length of the facade of the structure guilding exceeding 2 stories above average building elevation shall | demonstrate compliance with the design regulations of Section 50.65 and the provisions of the Downtown Plan Chapter of the Comprehensive Plan, The City will use Process 11B to determine compliance. For details requiring required yards, see Chapter 115. |
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| DIRECTIONS: | L | | ASI2 TOJ | If structure exceeds 2 stories above average building elevation, then Process IIB, Chapter 152, Otherwise, ADR, Chapter 142 | ···· | |
| DIRE | s | CE2 | BEAIEM BEO BEOOIBED | If structure exceeds 2 stories above average building elevation, the Process IIB, Chapter 152, Otherwise, ADR, Chapte 142 | <u>.</u> | OTE O |
| SNI | OIT. | V II | Teer | Physical Lodge of Clabs | ZC-C8054-27-80 | FOOTNOTES |

| Zona | | CBD-5 50.30.9 | SPECIAL REGULATIONS | 1. The development of the subject property and actionart rights of way must be contested with the regulations of Section 65 of this Chaptar. 2. The instantum regulard yard abuting Peter Kirk Park is 10 feet, Ne seitheach is required edipocers for all the contested at the contested of Peter Kirk Park is 10 feet. 2. The instantum regulard yard abuting Peter Kirk Park is 10 feet. 3. No portion of a structure within 100 feet of Peter Kirk Park shall exceed 69-feet-above severage building elevation. 4. No portion of a structure above the selevation of Kirkand Way as measured at the midpoint of the forestage of the subject property on Kirkand Way. Select. 5. Wirth 50 feet of Kirkand Way. Select. 6. Wirth 50 feet of Kirkand Way. Select. 7. A. Verlag. 7. A. Verlag. 8. If any portion of a structure is adopting a low density zone, then either. 9. Wirth 50 feet of Kirkand Way. Select. 10. Wirth 50 feet of Kirkand Way. Select. 11. The heapt of the structure is adopting a low density zone, then either. 12. The heapt of the structure is adopting a low density zone, then either. 13. If any portion of a structure is adopting a low density zone, then either. 14. With 50 feet of Kirkand Way. Select. 25. If any portion of a structure is adopting a low density zone, then either. 26. If any board of the structure is adopting a low density zone, then either is a structure which is parallel to boundary of the boar density respection of the structure shall not acceed 50 feet in width. 16. The heapt-all service and services of the structure may be permitted as part of any decrease feet and services and the desires. 17. The indexed experience and properts of the office one; 18. The aucklary assembly and manufacture of goods on premittee are not permitted as part of any decrease feet must be nothered as and other consider Refull services. 18. We note the desires and other consider Refull services with another must be submitted with the A.D.R. and builting points applications. 19. A veleving yourst application. 19. | nd partiting areas, see Chapter 105. PAGE its category, see Chapter 100. Its category, see Chapter 105. ought limit, see Chapter 115. one Chapter 115. |
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| USE ZONE CHART | | | 8 | 1. The development of the subject property and edjacent rights regulations of Section 65 of this Chepter. 2. The mainturn required yard abuting Peter Kirk Park is 10 tells. Givest between Lith. Avenue and Relidand Way, or uriginal—and the Measured Lith. Avenue and Relidand Way; or uriginal—and the Measured Lith. Avenue and Relidand Way; or uriginal building elevation. 3. No portion of a structure within 100 teet of Peter Kirk Park is building elevation. 4. No portion of a structure above the alevation of Kirkand Way, 100 teet of Kirkand Way, 100 teet of Kirkand Way, 100 teet. 5. Within 50 teet of Kirkand Way, 100 teet. 6. Within 50 teet of Kirkand Way, 100 teet. 7. Leverage of the structure is adjoining a low density zone. It a. The height of that portion of the structure shell not axceed elevation, or b. The horizontal length of any faced or that portion of the of the low density zone. It is not the low density zone. It is not the structure asked for the low density zone. It is not the low density zone that the low density zone are subject of the low density zone. It is not the structure asked for the low density zone. It is not seed 50 teet in within See the Section in Chapter 115 entitled "Distance Between Horizontal Facede Regulation" for further details. 6. Ancitary assembly and manufacture of goods on premises In the subject property. 8. The noulward appearance and impacts of this office use vacines, and the subject property. 9. The bollowing regulations apply to vaterheary office ones. 10. The bollowing regulations on the subject property. 11. May only treat amal entires on the subject property. 12. Aveloritary office is not permitted by an Acoustical Engine building permit applications. 13. Aveloritary office is not permitted. | For other briommation about perthing and partiting sites, see Chapter 105. For details of the regulations in this category, see Chapter 100. For information of the regulations in this category, see Chapter 105. For details of what may exceed this height limit, see Chapter 115. For details of what may exceed this height limit, see Chapter 115. For details regarding required yards, see Chapter 115. |
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| DIREC | Z | OCE2 | REQUIRED | If structure exceeds 2 stories above average building elevation, then Process IIB. Chapter 152. Otherwise. ADR. Chapter 152. | OTES |
| SNO |)IT. | חבי | 9334 <u>}</u> | Office Use | FOOTNOTES |

the provisions of the Downtown Plan Chapter of the Comprehensive Plan. demonstrate compliance with the design regulations of Section 50.65 and elements may not exceed 25% of the length of the facade of the structure. Ground floor porches and similar entry features may encroach into the Revised 4/93 Buildings exceeding 2 stories, above average building elevation shall required front yard, provided the total horizontal dimensions of such The order zone must be physically integrated both in site and building design. Also, site design must include installation of pedestrian integras consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan, between public skiewalls and building artitations, and between walkways on the subject property and existing or planned walkways on 9. Landscape Calegory C is requised if subject property is adjacent to 6th Street or Kirkland Avenue PAGE **98H** 10. Roler to Chapter 1 to deformine what other provisions of this Code may apply to the subject 50.30.h Section The City will use Process IIB to determine compliance. SPECIAL REGULATIONS For other information about parking and pertong areas, see Chapter 105. For datalis of the regulations in this category, see Chapter 100.

For information of the regulations in this category, see Chapter 95.

For details of what may accord this height limit, see Chapter 115. **CBD-5** Zone For details regarding required yards, see Chapter 115. ebutting properties. **USE ZONE CHART** <u>~</u>] PARKING SPACES RECOIRED CYLECOBY RICH LANDSCAPE CATEGORY DIRECTIONS: PRST, med down to find use., THEN, across to PEDULATIONS STRUCTURE MAXIMUMS HEICHL OF TOL CONERAGE KEVK REQUIRED YARDS ZIDE MINIMUMS FRONT TOL SIXE FOOTNOTES BEAIEM SBOCE22 KEÓNIKED ZC-CBD5446-1-93 *BECNIVATIONS* Office Use (continued) USE

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| SECULATIO | W PROCESS | 1 1 | MINIMUMS | IMUMS REQUIRED YARDS | | | | YMO | NG SPACES | CBD-5 50.30.i |
| ☆ </td <td>REATE. REGUL</td> <td>s 101</td> <td>TNOST</td> <td>SIDE</td> <td>REAR LOT CC</td> <td>HEIGH</td> <td>CVLEC</td> <td>CVIECO SICN</td> <td>REQUI</td> <td>SPECIAL REGULATIONS</td> | REATE. REGUL | s 101 | TNOST | SIDE | REAR LOT CC | HEIGH | CVLEC | CVIECO SICN | REQUI | SPECIAL REGULATIONS |
| Church ZC-CBDSIS-28-93 | etupier None chapter None chapter If structure exceeds 2 stories above average building elevation, then Process IIB. Chapter 152. Otherwise. ADR. Chapter 142 | • II II | 25 35 35 35 35 35 35 35 35 35 35 35 35 35 | oda Registion 2 | 100 2. 23 - 53 - 67 - 67 - 67 - 67 - 67 - 67 - 67 - 6 | S60 feet thows overup building severation. See Special Programmers of severation of | See See Hag. 8 | | One per overy four people bhased on markimum occupantum occupantum occupantum occupantum see of worsho. See Spec. Heg. 7. Bee. Gedon 60. Chapter. Chapter. | 1. The development of the subject property and offices is fights-of-way must be consistent with the regulations of Section 65 of this Chepies. 2. The minimum required yard shouting Peter Kith Park is 10 feet. No estimate Wary-Delweson 6th Street-Endland Street |
| FOOTNOTES | OTES | | | | | | | 의 워크티 | uldings ex monstrate provision e City wil | Buildings exceeding 2 stories, above average building elevation shall demonstrate compliance with the design regulations of Section 50.65 and the provisions of the Downtown Plan Chapter of the Comprehensive Plan. The City will use Process 11B to determine compliance. |

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| | Section | 50.30.k | | ty to the subject proporty. If encroach into the imensions of such facade of the structuding elevation shall no of Section 50.65. | Revised 4/83 | PAGE 98K |
| | 1 | CBD-5 | SPECIAL REGULATIONS | Services (WAC 389-72, 389-150, and 389-155). 12. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. 13. Ground floor porches and similar entry features may encroach into the required front yard, provided the total horizontal dimensions of such elements may not exceed 25% of the length of the facade of the structure. 14. Buildings exceeding 2 stories, above average building elevation shall demonstrate compliance with the design regulations of Section 50.65 and the provisions of the Downtown Plan Chapter of the Comprehensive Plan. The City will use Process 118 to determine compliance. | | For other information about parting and parting areas, see Chapter 105. For details of the regulations in this category, see Chapter 100. For information of the regulations in this category, see Chapter 95. For details of which may exceed that height limit, see Chapter 115. For details regarding required yards, see Chapter 115. |
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| USE ZONE CHART | CBD-5 50.30.1 SPECIAL REGULATIONS | 1. The development of the subject property and adjacent rights of very must be consistent with the regulations of Section 65 of the Chapter. 2. The minimum required yeard shutting Peter Kirk Part is 10 teet. He setted: the required selected to the chapter of the chapter. 3. No portion of a structure within 100 teet of Paier Kirk Part stats exceed 20 teet shower this rewested the feature of the test state of the chapter. 4. No portion of a structure above the stavalish of Kirkland Way as measured at the mispoint of the fortists of the subject property on Kirkland Way. Before: 5. Which 30 teet of Kirkland Way, 30 feet. 6. Which 30 teet of Kirkland Way, 45 feet. 7. Alo Kirkland Way, 45 feet. 8. Which 30 teet of Kirkland Way, 45 feet. 9. Which 30 teet of Kirkland Way, 45 feet. 9. Which 30 teet of Kirkland Way, 45 feet. 9. Which 30 teet of Kirkland Way, 45 feet. 9. Which 30 teet of Kirkland Way, 45 feet. 9. Which 30 teet of Kirkland Way, 45 feet. 9. Which 30 teet of Kirkland Way, 56 feet. 9. Which 30 teet of Kirkland Way, 56 feet. 9. Which 30 teet of Kirkland Way, 56 feet. 9. Which 30 teet of Kirkland Way, 56 feet. 9. Which 30 teet of Kirkland Way, 56 feet. 9. Which 30 teet of Kirkland Way, 56 feet. 9. Which 30 teet of Kirkland Way, 56 feet. 9. Which 30 teet of Kirkland Way, 56 feet. 9. Which 40 teet of Kirkland Way, 56 feet. 9. Which 40 teet of Kirkland Way, 56 feet. 9. Which 40 teet of Kirkland Way, 56 feet. 10. The haigt of this portion of the simulature she and single building elevation in Chapter 115 strated Distances and building design. Also, also design must be bristaged to the feet. 10. The aritie zone must be privatedly frangeled both in site and building or Kirkland Avenue. 11 Landscape Calegory C is required if the subject property and existing or planned walkweys on ebuiling properties. 12 Landscape Calegory C is required if the subject properties with frontage on Kirkland Avenue. 12 This use only allowed on properties with frontage on Section of Kirkland Avenue. 12 This use | Buildings exceeding 2 stories above average building elevation shall rACE demonstrate compliance with the design regulations of Section 50.65 and the provisions of the Downtown Plan Chapter of the Comprehensive Plan. The City will use Process IIB to determine compliance. |
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| USE ZO | PARKING SPACES | Chapter und. | ildings exce nonstrate co provisions e City will u |
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| TIONS | CVIECOEL TVNDSCVLE | SS | _== |
| FIRST, need down to lind use THEN, ecross for REGULATIONS | HEIGHT OF | er test above myerga buttang severalbin. See Special Regulation 3 and 4, APD (1. | |
| h THEN, | LOT COVERAGE | Z V d | |
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| DIRECTIONS: | 3215 101 | None the transport of the transport of the transport of the transport of transport | |
| DIRE | BEAREM MOCEZS BEGRIFED | Monochester Nonochester If structure exceeds 2 stories above average building elevation, then Process IIB. Chapter 152. Otherwise. ADR. Chapter 142 | OTE |
| SNO | EECULATIO | Sacked or Alleched Dwelfing Unth - 4. P.E. Arreun. Pack. 9 9 9 9 9 9 9 9. | FOOTNOTES |

| SZ | DIREC | CTIONS | FIRS | T, read dow | n to find use | THEN, | across for REGUL | ATIONS | | USE Z | ONE CHART |
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| ATIO | × | | MINIM | | | MA | XIMUMS | | · | р | Zone Section CBD-5 50.30.m |
| () EGULATIONS | REQUIRED REVIEW PROCESS | 3721S LOT | FRONT | Y GERIUS | REAR | LOT COYERAGE | HEIGHT OF STRUCTURE | LANDSCAPE CATEGORY | SIGN CATEGORY | REQUIRED PARKING SPACES | SPECIAL REGULATIONS |
| Public Littlity, Government Facility, or Community Facility | ADR. | None Ire 2 Dove Then IB. 152. | 20' | O ectol Reg | • | 80% | 80-test abovo average building elevation. See Special Regulations 3 and 4 Auto 10 | D See Special Reg. 6 | 8 | Sec Section 105.25. Sec Section 60** of this Chapter. | 1. The development of the subject property and adjacent rights-of-way must be consistent with the regulation of Section 65 of this Chapter. 2. The minimum required yard abutting Peter Kirk Park is 10 feet. No-eetback is required adjacent to 6th Sheet between 4th Avenue and Kirkland Way, or adjacent to Kirkland Way between 6th Shrest end the inforeaction of Kirkland Way, and adjacent to Kirkland Way between 6th Shrest end the inforeaction of Kirkland Way as measured at the midpoint of the trortage of the subject property on Kirkland Way may exceed the following: a. Within 20 feet of Kirkland Way, 35 feet; b. Within 40 feet of Kirkland Way, 55 feet; c. Within 50 feet of Kirkland Way, 55 feet; d. Wathin 60 feet of Kirkland Way, 55 feet; d. Wathin 60 feet of Kirkland Way, 55 feet; f. Set 2182. 5. If any portion of a structure is adjoining a low density zone, then either: a. The height of that portion of the structure shall not exceed 15 feet above average bulking elevation, or b. The horizontal length of any facade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in width. See the Section in Chapter 115 entitled "Distance Between Structure Regarding Maximum Horizontal Facade Regulation" for hirther details. 6. Landscape Category C is required if the subject property is adjacent to 6th Street or Kiridand Avenue Landscape Category A or B may be required depending on the type of use on the subject property and the impacts associated with the use on nearby uses. 7. Site design must include installation of pedestrian linkages consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan, between public sidewalts and building entrances, and between walkway on the subject property and existing or planned walkway on ebutting properties. 8. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property of fedured front yard, provided the total horizontal dimensions of s |
| CCBD5/4-30-93 | | | | | | | | 10 | Buil | dings exce | elements may not exceed 25% of the length of the facade of the structeding 2 stories above average building elevation shall |
| | | | | T | | | | | dem | onstrate co | ompliance with the design regulations of Section 50,65 and of the Downtown Plan Chapter of the Comprehensive Plan. |

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| | | CBD-5 50.30.n | SPECIAL REGULATIONS | 1. May be permitted only if it will not unreasonably impede pedestrian movement or create traffic safety problems. 2. Sie and building destyn must include tratsitation of pedestrian thicages consistent with the major pedestrian routes in the Downtown Plan drapter of the Comprehensive Plan. 3. May tratail transit route and information signs and markens. | The development of the subject property and ediscent rights of way must be consistent with the regulations of Section 65 of this Chapter. | 2. No portion of a structure above the elevation of Kirkland Way as measured at the midpoint of the frontage of the emblact property on Kirkland Way may exceed the fothwing: a. Within 20 feet of Kirkland Way, 48-feet; b. Within 50 feet of Kirkland Way, 48-feet; c. Within 50 feet of Kirkland Way, 48-feet; d. And Except. d. Within 50 feet of Kirkland Way, 48-feet; d. And Except. d. Within 50 feet of Kirkland Way, 28-feet; d. And portion of a structure is adjoining a low density zone, then either: a. The height of their portion of the structure shall not exceed 15 feet above everage building elevation. or b. The horizontal fength of any facade of their pontion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in whith. See the Section in Chapter 15 entitled "Listance Between Structures Regarding Maximum Horizontal Facade Regarding in dealis. | Site and building design must include Installation of pedestrian linkages consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan. | 5. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. Buildings exceeding 2 stories, above average building elevation shall Revised 4.753 demonstrate compliance with the design regulations of Section 50.65 and | The City will use Process IIB to determine compliance. The City will use Process IIB to determine compliance. To cours a wast may exceed this negatime, see Chapter 115. For detests regarding required years, see Chapter 115. |
| USE Z(| s | 3 2V | REQUIRED | Pone | See | Chepter, | | ildings exc | e City will |
| | | | SIGN CATEGORY | 8 20 00 00 00 00 00 00 00 00 00 00 00 00 | · 60 | | | Bu | |
| AARONS | | | LANDSCAPE CATEGORY | 1 | ! | 202 | | | |
| FRST, reed down to find use TVEM, ecross for REGUL | MAXIMUMS | | неіснт оғ этростове | 15 feet above average building efevation. | BO feet above average | ofertain ofertain 2. | | | |
| THEN, | MA | 3 | LOT COVERAG | \$001 \$ | | | | | |
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| II, and do | JMS | REQUIRED YARDS | SIDE | 0 | determine si bests | | | | |
| - 1 | MINIMINS | BE | FRONT | | Will be o | | · | |] |
| TION | | | 3ZIS TOJ | None | No. | ure 2.2 2.2 bove 10.2 152. 86. | | | |
| DIRECTIONS: | 2 | S3I.) | REQUIRED | None | A.D.B. | If structure exceeds 2 stories above average building elevation, then Process JIB. Chapter 152. Otherwise. | 142 | - | OTES |
| SNO |)IT. | VI | тээж 🗘 Ё | Public Tensti Shele | Public Pank | | -,-,- | ZC-C80504-27-83 | FOOTNOTES |

or two stories. No parking may encroach into the required 20' front yard. The required front yard for this use shall be 0' from Central Way for one The entire zone must be physically integrated both in site and building design. In addition, the design and development of the subject property must provide pedestrian linkage through this zone and between Central Way and areas to the notits of this zone, consistent with the major pedestrian routes The City may require that ereas of the northezatem and southezatem portions of the subject property to developed with pediestrian scale amendies and tandacaptrag to enhance the entryway into the Central Bushness District. Revised 11/1/94, 0-3435 Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. Vehicular access for these uses and components of these uses, including subjectanean parking must These uses are only permitted eouth of Stuth Avenue. Subtemanean parking for these uses may be located north of 6th Avenue provided that the parking structures are not viable from 7th Avenue or . As part of the development approval, the City may permit a decrease or require en honestes in-setbacker. The development state provide algorithms operates edjacent to Skith Street, gard-building
torms while be endetabled end tensoral up from the end and south portions of the site. The tailiest—
Luitting froms state be greated transmit the center of the emback proporty with lower energeness.

Learneds the parameter of the outjest property: be on Central Way or Fifth or Stoth Streets south of Stoth Avenue. The applicant may be nequired to install traffic divertiers or employ other mechanisms to direct non-readdential traffic associated with The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. Landscape Category C is required if the subject property is located editioner to the RS 5.0, or Planned Areas 78 or 7C zones. PAGE **88** 50.35.a Section Access for othe-through facilities must be approved by the Public Works Department. SPECIAL REGULATIONS For other bromation about parking and parking eneas, see Chapter 105. For information of the regulations in the category, see Chapter 195. For details of what may exceed this height limit, see Chapter 115. For details regarding required yeards, see Chapter 115. For details of the regulations in this category, see Chapter 100. In the Domitown Plan chapter of the Companiensive Plan. CBD-6 subject property away from areas north of Stidh Avanue. Zone 6th Street north of 6th Avenue. **USE ZONE CHART** ø Ö One per ench 1255 eq. it. of gross itoo area. star One per each 100 eq. it. of gross floor area. See Section 60. **SVEIGURE 25VCE2** REQUIRED CATEGORY ш RICH Special Reg. 8 See Special Reg. 6 CATEGORY FIRST, mad down to find use... THEN, sorose for REGULATIONS TYMDSCYLE average building elevation. See abo Special Regulation 4. STRUCTURE MAXIMUMS HEIGHT OF 4 state 9 LOT GOVERAGE ğ schal Regulation 4 REAR ARQUIRED YARDS ZIDE 9 MINIMUMS B 3 ģ TNOSTI 8 DIRECTIONS: TOL SISE Annual Control of Cont **FOOTNOTES** SEATEM ISOCE22
SECOISED ZC-5035A1-19-95 **KECULATIONS** Tavern See Special Regulation 2 Fest Food Restaurant See Special Regulation 2 Regissiment or USE

0-3609

| SN | DIREC | TIONS | FIRS | T, reed do- | n to find use | THEN, | ecroes for REGUL | ATIONS | | USE Z | ONE CHART |
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| A EGULATIONS | REQUIRED REVIEW PROCESS | azis toli | FRONT | MS PUIRED Y | REAR SQU | LOT COVERAGE S | HEIGHT OF STRUCTURE | LANDSCAPE CATEGORT | SIGN | REQUIRED PARKING SPACES | Zone Section CBD-6 50.35.b SPECIAL REGULATIONS |
| Any Retail Establishment, other than those specifically listed, imited or prohibited in this Zone, selling goods or providing services, including banking and retated financial services. See Special Regulation 2 and 3. Hotel or Motel. See Special Regulation 2. Entertainment, Cuttural and/or Recreational Facility. See Special Regulation 2. | titter structure | None | 20' See Sp Auto | 10° scial Reg | | 21803 | .78 lest above average building elevation. See also Special Regulation 4. | D See Special Reg. 11 D See Special Reg. 11 O See Special Reg. 11 | E | One per each 350 og. it. of gross floor area. See Saction 60-ef-lifes—Chapter. One for each room. See Spec. Reg. 12.—See Spec. Reg. 12.—See Section 105-26 and 50-siden 60-of-life—Chapter. | 1. The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. 2. These uses are only permitted south of Sixth Avenue. Subterranean parking for these uses may be located north of 6th Avenue provided that the parking structures are not visible from 7th Avenue or 5th Street north of 6th Avenue, 3. Vehicle and/or boat sale, repair, sorvice, and rartal are not permitted in this zone. 4. As part of the development appreval, the Gity may permit a decrease or require an increase insolved in the development shall provide eignificant openness adjacent to Sixth Street and-building form shall be mediatated and tensored up from the seat and south portions of the electional forms shall be mediatated and tensored up from the seat and south portions of the electional flower forms the permitted from a shall be grouped themselved the property. 5. The artire zone must be physically integrated both in site and building design, in addition, the design and development of the subject property must provide padestrian linkage through this zone and between Central Way and areas to the north of this zone, consistent with the major pedestrian routes in the Downlown Plan chapter of the Comprehensive Plan. 6. Vericular access for these uses and components of these uses, including subformanean parking, must be on Central Way or Feth or Sixth Streets south of Sixth Avenue. The applicant may be required to install institic diverters or employ other mechanisms to direct non-residential traffic casociated with subject property away from areas north of Sixth Avenue. 7. The City may require that areas of the northeastern and southeastern portions of the subject property be developed with pedestrian scale amendies and landscepting to enhance the entryway into the Central Businese District. 8. Ancillary assembly and manufacture of goods are directly related to and dependent upon this use, and are substite for purchase and immediate from other retail uses. 9. A us |
| FOOTN | OTES | | 7 | | | | | | | T | For other information about parting and parting areas, see Chapter 105. For details of the regulations in this category, see Chapter 100. For information of the regulations in this category, see Chapter 95. For details of what may exceed this height limit, see Chapter 115. 998 |

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| | nigeo | DIRECTIONS. | | | | | | | | 118. | ISE ZONE CHART | |
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| LL | 8 | Σ | MINIMUMS | Si | H | MAXII | MAXIMUMS | | | s | | |
| enrv | SOCES | | DOS: | RECUIRED YARDS | SO | . gov | 31 | | | 3DV4S | СВD-6 50.35.е | |
| | REQUIRED | TOT SIZE | FRONT | 3018 | REAR | Kayoo ToJ | HEICHT OF | LANDSCAPE CATEGORY | CVIECORY SIGN | REQUIRED PARETNG | SPECIAL REGULATIONS | |
| Sacked, or Attached Dwelfing Units See Special Regulation 2 | thory the second of the second | | 01 00 00 00 00 00 00 00 00 00 00 00 00 0 | 5 8 4 8 4 | in the state of th | \$ 51 F = 2 4 0 0 C 4 | everage budding budding budding budding beaution. See also Special Regulations 4 and 5. | S & D | < | 1.7 per unit. Constitution of the constitution | 1. The development of the subject property and adjacent rights of-way must be considert with the property and adjacent rights of-way must be considert with the separation of Section 1 Case-Track | () _엄 |
| ZC-5035E/1-19-05 | | | | | | . | | _ - | Alon | g Seven | ų. | B |
| FOOTNOTES | TES | | | | | | | 드립니 | With and a | Sloped roof forms. Within 40' of Sevand a minimum 50 | PAGE Within 40' of Seventh Avenue, the maximum length of any facade is 50' and a minimum 50% of this area shall be open space. | 600 |

| For details of the regulations in this category, see Chapter 100. PAGE For details of the regulations in this category, see Chapter 100. For information of the regulations in this category, see Chapter 95. For details of what may exceed this height limit, see Chapter 115. 99G | | | | | • | | | | FOOTNOTES | | FQ. |
|---|-----------------------------------|----------------|------------------|--|-----------------|---------------------------------------|----------------|-------------|---|---|---|
| (d. Rater to Chapter 1 to determine what other provisions of this Code may apply to the subject property. [L. Ground floor porches and similar entry features may encroach into the required front yard, provided the total horizontal dimensions of such clargests may not exceed 25% of the length of the facade of the structure. | | | | | | <u> </u> | | | | ZC-5035F/12-27- 94 | ZC-5035 |
| Landscape Category A or B may be required depending on the type of use on the subject properly and the impacts associated with the use on nearby uses. No parking is required for daycare or school ancillary to the church use. | Section 65 Ordris | | : | · · · · · · · · · · · · · · · · · · · | : | | · | | | | |
| Landscape Category C is required if the subject property is located adjacent to the RS 5.0, or Planned Areas 7B or 7C zones. | Section 105.25 | | i | | · fon æ | be determined on e-by-case baste. | Case be | | | ž | Public Park |
| The City may require that areas of the northeastern and southeastern portions of the subject property be developed with pedestrian scale amentiles and landscaping to enhance the entryway into the Central Business District. | | | <u> </u> | | | <u> </u> | | - | | | |
| 5. The entire zone must be physically integrated both in site and building design. In addition, the design and development of the subject property must provide pedestrian linkage through this zone and between Central Way and area to the north of this zone, consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan. | Section 60- of this Chapter | 8 8 7 | Reg's 7 and 8 | | <u> </u> | | | | | | Facility |
| 4. No portion of a structure on the subject property within 40 feet of Seventh Avenue may exceed 25 feet above the elevation of Seventh Avenue as measured at the midpoint of the frontage of the subject property on Seventh Avenue. No portion of a structure on the subject property within 40 feel of Fith Street north of Stoth Avenue may exceed 30 feet above the elevation of Fith Street as measured at the midpoint of the frontage of the subject property on Fith Street. | See Section 105.25 | ф <u>F</u> | Soacia | | | | | | Qlivervise: A.D.R. Chapter | Public Utáty, Government Facility, or Community | Public Utitity, Government F or Community |
| 3. For any position of a structure on the subject property within 40 feet of Seventh Avenue or Filth Street north of Sixth Avenue that does not exceed 30 feet above average building elevation, the minimum required side yards are 5 feet, but 2 side yards must equal at least 15 feet. | Regulation 9 | | | | | | | | Grapher- 160, and — A.D.A. Chapter | | _ |
| . As part or the development shall provide agrificant openness adjacent to Skirth Street, and chicking form shall be medicated and sensed up from the east and earth portions of the site. The telest because the center of the excitors of the site. The telest because the center of the excitors properly with tower components—building terms shall be grouped towards the center of the excitors properly with tower components—bowless the perimeter of the excitors the perimeter of the excitors. | Section do- | | H60. 7 | See etso Special Regulations 2 and 4. | - Special | · · · · · · · · · · · · · · · · · · · | = | | manago- building elevation- therr | | |
| The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. | See Section 105.25 | · E | - 8 | | | 10° 10° ecial Regulations | See Special | None | Hilbo- structura arreants-65: | 1 | Church |
| SPECIAL REGULATIONS | REQUII PARKIT | SIGN CATEGO | LANDSC CATEGO | HEIGH STRUC | REAR | SIDE | FRONT | LOT S | REQUI | ₽ | |
| CBD-6 50.35.g | RED NG SPACES | • | APE | T OF | • . | REQUIRED YARDS | #ROUI | IZE | RED W PROCESS | REGULA | asu |
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| Continu | Liona | 50.40.a | | se cornistent with the | | Canopies and covers over nor purking and service in Chapter 115 oritied | skiewska and building farmed walkways on fown Plan chapter of | nned Area 78. | ply to the subject property. | e consistent with the | | sklewsite and building turned walkways on down Plan chepter of | med Area 78. | ply to the eubject property. | r one story at street | | Revised 11/1/84, O-3436 | PAGE | 100A |
| USE ZONE CHART | | CBD-7 5 | LATIONS | The development of the subject property and adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. | May not be more than two vehicle service stations at any intersection. | Ges pump istands must be setback of iseat 20 feet from all property lines. Canopies and covers over gas pump istands may not be more than 10 feet to any property line. Outdoor parking and service areas may not be closed than 10 feet to any property line. See the section in Chapter 115 oritised "Outdoor Use, AdMin, and Soggog" for bather regulations. | Stie design must include installation of pedestrian linkapes between public sidewalte and bulkling oritrances and between walkways on the subject property and extalling or planned walkways on shutting properties combistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan. | Landscape Calegory A is required if the subject property is adjecent to Prizzned Area 76. | Refer to Chapter 1 to defermine what other provisions of Itab Code may apply to the subject property. | The development of the aubject property and edjacent rights-of-way must be consistent with the regulation of Section 65 of this Chapter. | No setback to required actionent to Third Street. | Site design must include installation of pedestran linkages between public atdewells and building entitings and between watkways on the subject property and existing or planned watkways on soluting properties constitute with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan. | 4. Landscape Calegory B is required if the subject property is adjacent to Planned Area 78. | Refer to Chapter 1 to datermine what other provisions of this Code may apply to the emblect property. | The required front yard for this use shall be 0' for one story at street level. No parking may encroach into the required 20' front yard. | | The second secon | For other information about parting and parting areas, see Chapter 105. For details of the regulations in this category, see Chapter 100. | row sustriction or the regulators in the coregory, see Crapter 155. For details of what may exceed the height finit, see Crapter 115. For details regarding required years, see Chapter 115. |
| ZONE | | • | | 5 5 | οi. | <u>ಕ</u> | 4. Street | E | F | <u></u> | 4 | ri | . | 5. Pet | હ | | | F P S | For detail |
| USE | S | YCE | ARETHG SP EQUIRED | Sec Section | 15.29 4 | Chapter: | | <u></u> | | 1 per each 125 eq. ft. | Soor ered | Seedon 180 of Hits Chapter | | | | | |] | |
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| we to find | | YARDS | EAR | 15° Feg. 3 | 3.4 | | | | | 0.5 | | | | _ | · | | | | |
| IST, med de | TUMS | REQUIRED YARDS | 300 | යි | | | | | ·· | | <u>s</u> | · | | | | | | <u> </u> | |
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| DIRECTIONS: | | | AXIS TO. | ह्ये ह | | | | | | None | | | | | | | | • | |
| DIRE | S | 3D(| FEATER SEC | A.D.R. Chapter 142 | | | | | | A.D.R. Chepter 142 | | | | | | | | • | OTES |
| SNO | LL | V TO | reca () recca | Vehicle Service Steffon | | | | | | Restaurand or Tavern | | | | | | | ZC-CBD7A12-27-94 | | FOOTNOTES |

| | CHART | | 0.040.0 | | SPECIAL REGULATIONS | The development of the subject property and explacent rights-of-way must be consistent with the regulations of Section 65 of the Chapter. | No setback is required adjacent to Third Street. | Metal provide one outdoor weste receptacle for every sight partiding sists. | Access for drive-through lacities must be approved by the Public Works Department. | Site design must include installation of pedestrian finiages between public eldewalits and building entrances and between walkways on the subject property and existing or planned walkways on ebuilding properties consistent with the major pedestrian routes in the Downsown Plan chapter of the Comprehensive Plan. | Landacape Category A is required if the subject property is adjacent to Planned Area 78. | 7. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. | The required front yard for this use shall be 0' for one story at street level. No parking may encroach into the required 20' front yard. | | The Obvelopment of the subject property and edjacent ingrite-or-way must be consistent with the regulations of Section 65 of this Chapter. | No setbeck to required adjacent to Third Street. | The parking requirement for hotel or motel use does not include parking requirements for encillary meetings and convention facilities. Additional parking requirements for anothery uses shall be | determined on a case by-case bests. | Stie deelgn must include installation of pedestrian linkages between public aldewalts and building entrances and between walkways on the subject property and existing or planned walkways on | studing properties consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan. | Landscape Calegory B is required If the subject property is adjacent to Planned Area 7B. | Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. | اة . | Were two. DAGE | For details of the regulations in this category, see Chapter 100. For information of the regulations in this category, see Chapter 95. For details of what may exceed this helorit limit, see Chapter 115. | ann |
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| | USE ZONE CHART | SZ | | TING 21 | PARK | | 2 d | 8 <u>£</u> | ų i | A: | E | 7. Refe | ಪ | • | <u></u> | 7. | <u> </u> | - | Ę si | | 8 8 | 6 | H Z | | For train | For dell |
| | ם | | | | CATE | 1 P | Soor ere | 30 3 | 10 | | | _ | | | Section 5. X | 4 | | n One for | | 6 6 6 6 | 4 | | | | <u> </u> | |
| | томз | | <u>,</u> | CORY | SIGN CVIE | | Peg. 6 | | | | | | | | - 3 | Peg. 5 | | | | 700.5 - | | | | _ | _ | |
| | in to faid use THEM, across for REGULATI | MAXIMUMS | | HT OF | DATE | 20-feet movo | | <u> </u> | | - | | | <u>.</u> . | | everage S | یہ | | | <i>s</i> , <i>s</i> , | <u> </u> | · · · · · | | | - | | |
| Ì | e THEM, a | MAX | 35 | CALIVO | 101 | Š | | | | | | | | | Ś | | | | | | | | | | | |
| | | | YARDS | , | REVE | 96.0 | ኅ | | | | _ | | | , | 0 . 0 . | | | | | | | | · | | | |
| | FIRST, med do | IUMS | REQUIRED YARDS | | SIDE | _ | <u>a</u> | | | | | | | | 0 00 C | _ | | | | | | | | ╟ | | - |
| | | MINIMUMS | ä | .L | NOSTI | 8 % | g | | | | | _ | | | 2 & ₹ | | | | <u> </u> | | | | | 1 | | |
| | DIRECTIONS: | Ц | | 3ZIS | 101 | ST CX | . | | | - | | | | | 2 2 2 | | | | | _ | | | - - | - | Z. | |
| | OIRE | S | | EW PRO | REGE | A.D.R. Chapter 142 | | | | | | | | 1 | Chapter 142 | | | | | | <u>-</u> | | | | | 를 |
| | SNO | LL | חניע | SB [| ☆ > | Fast Food Rectaurant | | | - | | | | | | Cultural and/or | | | Hotel or Motel | | | | | 2C-CBD785-11-90 | | | FCCINCIES |

| DIRECTIONS: | S | - 1 | , read down i | o thd use TH | FIRST, read down to find use THEN, across for REGULATIONS | GULATIONS | | USE 2 | |
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| HEICHLOL TOL CONERAGE WINING REVIEW PROCESS REVIEW PROCESS REVIEW PROCESS | SO SASS | SO SASS | | AAXIM TWI | EEIGHT OF STRUCTURE | CATEGORY CATEGORY | SIGN | BYBRING 2BYCE2 BEGUISED | CBD-7 50.40.c |
| Chapter And Political and all and | octal Regulation 2 5 10 10 10 10 10 10 10 10 10 10 10 10 10 | octal Regulation 2 5 10 10 10 10 10 10 10 10 10 10 10 10 10 | 88 7. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. | | [∯ • œ é | 0 80 00 00 00 00 00 00 00 00 00 00 00 00 | Ψ | 1 per each 350 sq. ft. of gross floor erse. Section 50 sq. ft. Section | The development of the subject property and adjacent fights-of-way must be consistent with the regulations of Section 65 of this Chapter. No setback is required adjacent to Third Street. Access for drive-through lacifiles must be approved by the Public Works Department. Ancileary assembly and manufacture of goods on the premises of this uso are permittled only if: The outward search manufactured goods are directly retained to and departed upon this use. The outward appearance and removed from the permitteer assembly or manufacturing activities must be no different from other retail uses. A use involving the preparation and consumption of food may include, as part of this use, and activities must be no different from other retail uses. A use surpaint and associated discutation area does not exceed rince than 10% of the gross floor of this use; and It can be demonstrated to the City that the floor plan is designed to practice the seating area from being apparated. Volticle and boat sale, repair, service, and restel is not permitted in this zone. Sits design must include trataination of pedestrian tinkages between public eldewarks and buffung entained assist, repair, service, and restel property and extiting or planned value and publication of pedestrian tinkages between public eldewarks and buffung entained between wathersys on the subject property and extiting or planned value and publication of pedestrian tinkages between public eldewarks and buffung entained between wathersys on the subject property and extiting may enquired front yard for this use shall be 0° for one story at street level. |
| , | | | | | | · | | | E Revised 4/83 |
| FOOTNOTES | | | 7 | | | | | | For other hitometion about parking and parking areas, see Chapter 105. For detects of the regulations in this category, see Chapter 100. For hitometion of the regulations in this category, see Chapter 85. For detaits of what may exceed this helight limit, see Chapter 115. For detaits regarding regulated yards, see Chapter 115. |

| | USE ZONE CHART | | DO:40.0 | SPECIAL REGULATIONS | The development of the subject property and adjacent rights of way must be consistent with the regulations of Section 65 of this Chapter. No setback is required adjacent to Third Street. | Site design must brutude installation of pedeatrian linkages between public sidewalks and building entrances and between walkways on the aubject property and existing or planned walkways on abuting properties consistent with the major pedeatrian routes in the Downtown Plan chapter of the Comprehensive Plan. | 4. No panking is required for daycare or achool and lary to the use. | 3 E | 1. This use may be located on the Central Way level of a building only if there is an intervening retail storefront between this use and the right-of-way. | | 1. The development of the subject property and edjacera rights-of-way must be consistent with the | 2. No setback is required adjacent to Third Street. | 3. Ancitary assembly and manufacture of goods on premises may be permitted as part of office use it: a. The ancitary assembled or manufactured goods are authorithate to and dependent on this office | use; and b. The outward appearance and impacts of this office use with ancillary assembly and manufac- turing activities must be no different from other office uses. | A. The following requisitions apply to veterinary offloes only: a. May only treat small entirets on the subject property. b. Outside runs and other outside tactities for the animals are not permitted. | REGULATIONS CONCLUDED ON NEXT PAGE Revised ARG | — For other information about partiting and partiting areas, see Chapter 105. — For details of the regulations in this category, see Chapter 100. | For details of what may exceed this height limit, eee Chapter 115. For details reparding required yards, see Chapter 115. For details reparding required yards, see Chapter 115. |
|---|--|----------|----------------|-------------------------------------|--|--|--|--|--|------------|---|--|---|--|--|---|--|--|
| | USE | s | D V 4 | ЬЧКЕНС 2 КЕОЛІВЕD СУЛЕСОКА | See Section 105.25. | Section 50 of this Chapter | every four people based on | nextrum occupency foed of eny eres of | Worship. See Spec. Reg. 4. | Section 60 | 1 per each | of gross Boor gross | Section 66 | | | | | |
| | XIS | | | ZICH | See Speckil Reg. 5 | e | Special Special Reg. 5 | | ···· | | 0 | Special Reg. 6 | | | - 1 | | | |
| | Crose for REGULATIONS | MAXIMUMS | , | CANDSCAPE STRUCTURE HEIGHT OF | 8 | | <i>ज क</i> द | | | 1 | क्ष है | bulkding Squared bulkding Squared by Squared | | | <u> </u> | | | |
| - | FIRST, need down to find twe THEN, ecrose for FI | XVW | ЯĐ. | LOT COVED | SON NO. | | | | | | 8 | | | | | | | |
| | en to find us | | YARDS | келк | 2 d | | | | | · | 0 9 | • | | | | | | |
| - | ST, read do | UMS | REQUIRED YARDS | 2IDE | 0 g | | | | | <u> </u> | 0 } | | | | | | | |
| i | | MINIMUMS | Ħ | FRONT | , 28, 28, | | | | | | .29 | <u>-</u> | | | | | J | |
| | DIRECTIONS: | Ш | | azis tol | None | , <u>.</u> | | | | | None | | | | | • | | |
| | DIRE | | OCE | BEAIEM BE | A.D.R. Chapter 142 | | | | · · <u>-</u> | | A.D.R. | | | | | | | OTES |
| | SNO | TIC | | 9374 () 25 () | Private Lodge or Cho | Church | | | | | Office Use | # g g | L | | | 2C-CBD7D/5-12-93 | | FOOTNOTES |

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|--|----------|----------------|------------|---------------------|---|--|---|---|--|---|---|--|--|--|--|---|--|---|--|
| | Section | 7 67 6 | ou.40.e | | the subject property. A mitted with the A.D.A. and ling units. | eldewalks and building farmed walkways on down Plan chapter of | med Area 7B. | to the subject property. | e consistent with the | | play areas. | re feet. | residential uses. | ber of attendees and the | of Social and Health | sidewalse and building learned welloways on town Plan chapter of the | ply to the subject property. | and the right-of-way. | 100E |
| | 2 Juoz | | ceD-7 | SPECIAL REGULATIONS | Ste must be designed so that note from the use will not be aucible off the subject property. A certification to this offect eigned by an accustical engineer must be submitted with the A.D.Fl. and building permit explications. A veterhary office is not permitted if the subject property contains dwelling units. | Site design must include installation of pedestrian linkages between public sidewalks and building entrances and between walkways on the subject property and existing or planned walkways on abuting properties consistent with the major pedestrian routes in the Downtown Plan chapler of the Comprehensive Plan. | the subject property is adjacent to Piez | This use may be located on the Central Way level of a building only if there is an intervening retail storefront between this use and the right of way. | ony and editional rights-of-way must be | And Street. | A stx-loot-high fence is required along all property lines adjacent to outside play areas | ck from all property lines by at least fiv | the City to reduce impede on nearby | An on-sits passenger losding area may be required depending on the number of extendess and the extent of the extent for the abusing right-of-way improvements. | omento established by the Department d 388-155). | Site design must include instatistion of pedestrian linkages between public sidewalks and building entrances and between walkways on the subject property and existing or planned walkways on schuling properties consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan. | ier to Chapter 1 to determine what other provisions of this Code may apply to the subject property. This use may be located on the Central Way level of a building only if there | is an intervening retail storetront between this use and the right-of-way. at information about parting and parming away, we compare 100. But of the regulations in this category, see Chapter 100. | category, see Chapter 95. At Emit, see Chapter 115. 6 Chapter 115. |
| USE ZONE CHART | | | ť | HdS | Sie must be designed so that not certification to the offect eigned b building permit explications. A veterinary office is not permitted. | Site design must include installation of entrances and between watkways on abuting properties consistent with the the Comprehensive Plan. | Landscape Category C is required if the subject property is adjacent to Planned Area 7B | 7. Herer to Chapter 1 to determine if other provisions of this Code may expert to the sublect property. 2. This use may be located on the Central Way level of a building of it on international expensions harmony this use and the rights. | 1. The development of the subject property and editional rights-of-way must be considered with the regulations of Section 65 of the Chapter. | 2. No setback is required adjacent to Third Street. | 3. A stx-foot-high fence is required along | 4. Structured play areas must be set back from all property lines by at least five feet. | Hours of operation may be limited by the City to reduce impects on nearby residential uses | An on-sits passenger loading area may be requir extent of the abutting right-of-way improvements. | These uses are aubject to the requirements established by the Department of Social and Health Services (WAC 389-73, 389-150, and 388-155). | Site design must include installation of entrances and between walkweys on abuting properties consistent with the Comprehensive Plan. | 9. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. D. This use may be located on the Central Way level of a building only. | 15 an intervening retail storetront between this For other triormation about parting and parang areas, were creative rus. For details of the regulations in this category, see Chapter 100. | For information of the regulations in this category, see Chapter 95. For details of what may exceed this height finit, see Chapter 115. For details regarding required yards, see Chapter 115. |
| USE ZO | s | CE | OT. | ресстие Рабетис | | | | | | 105.25. | } | <u> </u> | | | | | <u> </u> | | |
| | | | Ā | CVIECOE. ZICN | | | | | 69 | | L. A. | | | | | | | | |
| ALATIONS | | _ | | CVIECOK FVNDSCVI | | ·· | | | ٥ | | | ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,, | ·· | | | | | | J |
| FIRST, seed down to find use THEN, ecross for PEGULATION | MAXIMUMS | , | OF JRE | TESCHT OTTS | | | | 2 40 E. E. | 39 foet above | Duliding elevation. | | | | | | | | | |
| se TWEN | MA | Ŀ | gova: | 100 TOJ | | | | | 8 | | | · | | | - | - | | | |
| wen to flad u | | YARDS | <u></u> | REAR | | | | | 200 | | | | | | | | | ļ | |
| 131, need de | UMS | REQUIRED YARDS | | 2IDE | | <u> </u> | | | Spec. | | | <u> </u> | | | | | | ╟ | |
| | MINIMUMS | 120 | | FRONT | | | | | , Se | | | . | | | | | · · · · · · · · · · · · · · · · · · · | 1 | |
| DIRECTIONS: | | | 3 | ZIS TOJ | | | | | None | | | | | | · <u>-</u> | - | | | |
| DIRE | g | | EROC | REVIEW | | | | · | A.D.R. Chapter | 2 | | | | | <u>.</u> | | | | OTES |
| SNO |)IL | V 7 | OSE EGU | ™ ↔ □> | Office Use (continued) | | | | School, Dayoure Center, or | Marit-School or Deycere Center | | | | | | | ZC-C807E/2·16-95 | | FOOTNOTES |

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|---|---------|-----------|----------------|---------------------|--|--|--|---|--|--|---|---|---|---|--|---|------------------|---|---|
| | Section | 50 40 f | | | be consistent with the | | sidewells and building planned walkways on rsown Plan chapter of the | uply to the subject property. I | of a culturing only if and the right-of-way. | | anned Area 7B. Landscape lect property and the | oply to the subject property. | ment or create traffic safety | | be constitlent with the | pply to the subject property. | Revised 4/83 | PAGE | 100F |
| | Zone | 7 | | SPECIAL REGULATIONS | The development of the subject property and explanent rights-of-very must be consistent with the regulations of Section 65 of this Chapter. | Dent to Third Street. | 3. Site design must include installation of pedestrian trinages between public sidewalls and building entrances and between walkways on the author property and existing or planned walkways on abuilting properties consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan. | 4. Refer to Chapter to determine what other provisions of the Code may apply to the subject property. I | is an intervening retail storefront between this use and the right-of-way. The development of the subject property and equacent rights of way must be consistent with the requiring of Section 65 of this Chapter. | Dent to Third Street. | Landscape Category C is required if the subject property is adjacent to Planned Area 7B. Landscape Category A or B may be required depending on the type of use on the subject property and the impacts associated with the use on nearby uses. | Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. | May be permitted only if it will not unreasonably impede pedestrien movement or create traffic safety problems. | May tracal transit route and information aigns and markens. | The development of the subject property and explacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. | Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. | | For other letormation about parking and parking areas, see Chapter 105. For details of the regulations in this category, see Chapter 100. | For information of the regulations in this category, see Chapter 95. For details of what may exceed this height limit, see Chapter 115. For details regarding required yards, see Chapter 115. |
| USE ZONE CHART | | | | ~ | The development of the subject property regulations of Section 65 of the Chapter. | 2. No setback is required adjacent to Third Street | 3. Site design must include ins entrances and between wat chutting properties consists Comprehensive Plan. | 4. Refer to Chapter 1 to determ | 差章 | 2. No setback is required adjacent to Triad Street | Landscape Category C is required if the subject is Category A or B may be required depending on I impacts associated with the use on neatby uses. | 4. Refer to Chapter 1 to determ | May be permitted only if it w problems. | 2. May brated transit route and | The development of the subject property regulations of Section 65 of this Chapter | 2. Refer to Chapter 1 to detern | | . For other terlormation about perking and parting areas, see Chr For details of the regulations in this category, see Chapter 100. | For information of the regulations in this category, see For details of what may exceed this height limit, see Ciffor details regarding required yards, see Chepter 115. |
| USE 2 | | S3 | DV4 | REQUIRED | 1.7 per unt. | 40.0 | | | Section | (5.25) (5.45) | of Historical Charpites | | Mone | | Sed Section 105.25. | Section 60 | Chapter | | |
| j | İ | | _ | CATEGORY | 1 | | 1 | | 60 | | | | | 2 | 6 | -I-Z- - | - | | |
| IORS | | , | | CATEGORY | 0 | | | | Q 88 | Special Reg. 3 | ··· | | 1 | | 1 | <u> </u> | _ | | |
| acrons for REGULATIONS | | MAXIMUMS | • | HEIGHT OF | d9-feet above everage | efevetion. | | • | 2 3 COLRES | elevetion. | | | 15 feet above average | elevetton | 3, 4, b Pages 39 feet above average building | elevation. | | | |
| NS L | | MAX | *BO | LOT COVERA | \$ | 23/20 | | | ğ | | | | 100% | | | | | | |
| FRST, seed down to find use DEN across to | | | RDS | REAR | 0 setton 2 | र्ग | | | 0 Jestlon 2 | | | | • | | 94 on Desis | | |] | |
| 90 | | NS. | REQUIRED YARDS | SIDE | o de la companya de l | | | | 0 ectal Reg | | | | • | | determit | | | - | |
| - 1 | 1 | MINIMUMS | REO | FRONT | , S. S. | | • | | % % \$ \$ \$ \$ | | | | 6 | | William | | |] | |
| DIRECTIONS | | ¥ | | azis 101 | None | | | | None | | | | Se Se Se Se Se Se Se Se Se Se Se Se Se S | | Mone | | | | |
| DIREC | | SS | 300 | BEAIEM DE | A.D. R. Chapter | 2 | | | | 231 | | | None | | A.D.R. Chapter 142 | · | | | OTES |
| s | NO | ITA | | oza 🗘 | Stacked or Attached Dwelfing Units | WELL. | r 3 | | Public Ustry, Government Facility, | or Community Facility | | | Public Transit Sheller | | Public Purk | | 2C-CBD7F/5-12-93 | | FOOTNOTES |

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|---|----------------------------|----------|----------|-----------------|--------------|----------------|--|--|------------|--|---|
| SNC | DIREC | CTIONS | : FIRS | IT, read dow | m to find us | o THEN, | ncross for REGUL | ATIONS | | USE 2 | ONE CHART |
| REGULATIONS | REQUIRED REVIEW PROCESS | LOT SIZE | FRONT | JMS QUIRED Y | ARDS | LOT COVERAGE W | HEIGHT OF STRUCTURE S | LANDSCAPE | SIGN | REQUIRED PARKING SPACES | Zone Section CBD-8 50.45.a SPECIAL REGULATIONS |
| Restaurant or Tavern See Special Regulation 9 | A.D.R. Chapter 142 | None | O' See S | tr ec. Reg. | Or Pand 3 | 100% | severage building elevation or existing grade. See Special Regulations 4 through 6.— 30 feet aborelevation of Avenue or Avenue as measured a projected rof the fron the subject on the near applicable way. See Regs. 4.6 | Special Reg. 148-11 ove the of 3rd 4th at the midpoint tage of propertiest right-of Spec. | E L | One per each 125 sq. tl. of gross floor area. See also Section 60 of this Chapter. | 1. The development of the subject property or adjacent rights-of-way must be consistent with the regutations of Section 65 of this Chapter. 2. A minimum 20-foot front yard setback is required adjacent to: a. Fourth Avenue between 2nd Street and 3nd Street; b. Third Street, between 3nd Avenue and 4th Avenue; c. Market Street. 3. The minimum required side and/or rear yard abutting the PR 3.6 and PLA 7A zones is 5 feet. 4. Histght of structure may be measured above existing grade or average building elevation; but ript both: 5. No pontion of a structure within 100 feet of the PR 3.6, PLA 7A and PLA 7B zones focated to the north of this same may exceed 30 feet above the elevation of 2nd Guest, 3nd Ginest, 3nd Avenue between 1st Street and 2nd Street, 4th Avenue, or Market Street as measured at the midpoint of the frontage of the existent property on the applicable abutting right of way. 11. MARIANUA How'th CP A TAACHT ALCAS CULTAR WAY. 8. Ne perture of a directure within 40 feet of Sentral Way may exceed 49 feet above the elevation of Central Way as measured above the midpoint of the frontage of the subject property on Central Way. 7. Structures shall be medicated and terraced on the billistide in this zone. The tailest building forms—shall be grouped towards the center of the subject property with lower components located towards—the perimenter of the existent property. 8. The mardman height of structures on the subject property may be increased by 13 feet if the explicit property at the proposed structure existing for uses in the CBD+1 or OBD+2 zones or makes a perition of the existent property at the proposed structure existent whether the public banefit derived from providing this artificional parking is sulfationed to allow the increase in height and building must be designed so that this use is primarily oriented towards Central Way. The site and building must be designed so that this use is primarily oriented towards Trid Avenue between First Street and Second Street or Fourth Avenue. If the subj |
| ZC-C6D8/12-27-94 | | | | <u> </u> | | <u> </u> | <u>. </u> | | | <u> </u> | Revised 11/1/94, O-3438 |
| FOOTNO | OTES | | | | | | | | | | For other information about parking and parking areas, see Chapter 105. For details of the regulations in this category, see Chapter 100. For information of the regulations in this category, see Chapter 95. For details of what may exceed this height limit, see Chapter 115. To details regarding required yards, see Chapter 115. |

| Section | Section 2 | 50.45.d | s | zone. the site will be directed away | sublic stdewestra end building. g or plasmed waskways on Downtown Plan chaptes of | to the Planned Areas 7A or 7B | sympty to the subject | it established by a stion of Central the subject point which sad Avenue or | e 30' height Jimit tersection of 1st utage on Market sove the midpoint o the north. | | Revised 4/83 | PAGE | 101D |
|---|----------------|-------------|----------------------|---|--|---|---|--|---|-------------|-----------------|--|---|
| RT Zone | 2007 | S-CBD-8 | SPECIAL REGULATIONS | Drive-in facilities and drive-through lacilities are not permitted in titis zone. The site must be designed so that vehicles coming from and going to the elle will be directed away | incut resourcement insign continuous to the tracks of the zone. Ste design must include histalization of pedestrian tentages between public sidewatin and building entrances and between walkiverys on the autherd property and existing or planned walkiverys on abutting properties consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan. | Landscape Calegory A is required if the subject property is adjacent to the Planned Areas 7A or 7B or PR 3.8 zones. | Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. | No portion of a structure shall exceed the height established by a 3:1 angle starting at a point 41' above the elevation of Central Way as measured at the projected midpoint of the subject property on Central Way and continuing to a point which intersects the established 30' height limit above 3rd Avenue or 4th Avenue. | For properties on the west side of 1st Street, the 30' height limit shall be measured above the midpoint of the intersection of 1st Street and 3rd Avenue. For properties with frontage on Market Street, the 30' height limit shall be measured above the midpoint of the subject property bordering the PR zone to the north. | | | For other information about parking and paiding areas, see Chapter 105. For details of the regulations in title calegory, see Chapter 100. | ror momenton of the regulations in this category, see Chapter 95. For details of what may exceed this height thint, see Chapter 115. For details regarding required yards, see Chapter 115. |
| USE ZONE CHART | | | | | | | | 4. No portion. 3:1 angle sta Way as mea property on intersects th 4th Avenue. | E For pr shall b Street Street, of the | | | r other inform r details of the | r details regar r details regar |
| USE ZO | | SPACES D | яефияе Рабитис | \$ # ∞1 o ⁺ 1 | <u>च</u> | 当 | 보 기 | 4 | | | | - - - - - - - - - - - - - - - - - - - | |
| | _ | , | CVIECOS! | | | <u> </u> | | | | | | | |
| ATIONS | | X | CATEGORY CATEGORY | | | | | | | | | , | |
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| THEN, | MAX | 30AS | TOJ | | | | | | · | | | | |
| to find use | | YARDS | REAR | | | | | | | | | | |
| and down | S V | 2 | SIDE | | | | | | | | | | |
| | MINIMUMS | ЮЗЫ | FRONT | | | | | | | 7 | | | |
| TIONS | Ą | | ezis toji | | <u>.</u> | | | | | | | | |
| DIRECTIONS: | 7 % | PROCES D | REQUIRE | | | · | | | | | - | | OTES |
| SNO |)IT. | eenrv | 12 () | e e e | | | | | | | 18/5-3-93 | | FOOTNOTES |
| | | USE | \Box | Fost Food Restaurant (continued) | | | | • | | | ZC-CBD6B/5-3-93 | | FO |

| | Zone H Section | | CBD-8 1 50.45 p | | SPECIAL REGULATIONS | The development of the subject property or adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. | = | b. Third Street, between 3rd Avenue and 4th Avenue; c. Market Street. | 3. The minimum required side and/or rese yard abutting the PR 3.6 and PLA 7A zones is 5 (eat. | 4. Height of structure may be measured above existing grade at sverage beliding elevation, but not | | L. No position of a structure within 100 test of the PH City. PLA A and PLA. OF sense located to the could of this zone may exceed 20 feet above the elevation of End Street, Stat Street, 3rd Street, 3rd Street, | Services 1 to the author and the control of the con | 1 - 2 | The state of the production of the state of | This has grouped forwards the center of the subject property with lower components located forwards the subject property with lower components located forwards the subject property with lower components located forwards. | | 2. The mountain height of etricitiers on the exclect property may be increased by 13 less if the applicant provides extreminess positing for uses in the CBD. Let CBD 2 screek or makes a position of the | -terpect property of the Engagement and International Committee of the Com | -providing the additional parting is sufficient to allow the tracesses in height and building mass- | 4. This use is permitted only if the subject property stouts Central Way. The site and building must be designed so that this use is primarily oriented towards Central Way. No aspect or component of | this use may be located on or oriented towards Third Avenue between First Street and Second Street or Fourth Avenue. If the subject property indust Third Avenue between First Street and Second Street or Fourth Avenue. The site and buildings must be destined to provide residential. | character and ecate adjacent to Third Avenue and Fourth Avenue. | REGULATIONS CONCLUDED ON NEXT PAGE Revised 11/1/84, O-3436 | For other information about partiting and partiting areas, see Chapter 105. For details of the regulations in this category, see Chapter 100. | For information of the regulations in this category, see Chapter 95. 101 E | |
|--|----------------|------------|-----------------|-------------|---------------------|--|--------------------------|---|---|--|---------------|--|--|--------------------|---|--|-------------|---|--|---|--|---|---|--|--|---|----------|
| USE ZO | | S | CE | C SPA | REQUIR | See Section | . 28 | of this Chepter. | | See Spec. | ٧ | 8 | Charles. | | <u> </u> | , | | J | · <u>.</u> | | ~ 1 | | | | | | |
| | ſ | | | X | SIGN CATEGOI | E | | _ | w | | | | | | | | | | • | | | | | | | | |
| TIONS | | | | | CATEGO | See | 8 8 t | | | ve the | ₽₽ |) · | the idpoint | age of | | ight-of- | 200 | ٦. | | | | | | | | | |
| FRST, read down to find use THEN, across for REGULATIONS | | CIMUMS | | OF | HEIGHT | Sverage everage | elevation or existing | See Opeolei- | Hogustica is 4 | 30 feet above the | Avenue or 4th | Avenue as | measured at the projected midpoint | of the frontage of | on the near | applicable right-of- | Dage 4 6 Au | 1683 H | | | | | | | | | |
| TMEN | I | MAX | 3 | ERVC | LOT COY | 100% | | | | | | | | | | _ | | | | | | | | | | | |
| o find use | | | RDS | | REAR | or and 3 | | | | | | | | | | | | | | | | | | | h | | |
| med down | | S | REQUIRED YARDS | | 2IDE | oc. Reg. | | | | | | | | | | | | | | | | | | | | | |
| | | MINIMINIMS | REOU | | TNOATI | See S | | | | | | | | - | | • | - | | | | | | | | | | |
| DIRECTIONS: | | ž | | 31 | ZIS 101 | None | | | | | | | | | | | | | | | | | | | | | |
| DIREC | | SS | CE | ED ED | REALEM REGULE | A.D.R. Chapter | ž | | | | | | | | | | | | | | | | | | | 日田の | |
| SN | or | | √ 11 | reen Een | 公 口 | Entertainment/ Cultural and/or | | | Hotel and Motel | See Special | | | | | | | | | | | | | | ZC-CB08/12-27-94 | | ROOTCOTES | T. CO TI |

| | MAXIMUMS ZOCIUON | 553 | E E E E E E E E E E E E E E E E E E E | SPECIAL REGULATIONS LOT COVE | 100% 56-best above D E I per each I. The development of the subject property or adjacent rights-of-way must be consistent with the evelope See 350 ap. R. regulations of Section 65 of this Chapter. | - F | Section 60 b. | - tragesterns - Chapter. 3. The minimum required side and/or rear yard abuiling the PR 3.8 and PLA 7A zones is 5 lest. | 30 feet above the sharing the sharing the sharing peads or everage building elevation, but not sharing a sharing grade or everage building elevation, but not sharing a sharing grade or everage building elevation, but not sharing a sharing grade or everage building elevation, but not sharing a sharing grade or everage building elevation, but not sharing a sharing grade or everage building elevation, but not sharing a sharing grade or everage building elevation, but not sharing a sharing grade or everage building elevation. | A venue or 4th | Avenue 25. An position of a structure within 199 feet of the PR 3.8, PLA 7A and PLA 7B zones to the structure at some of the structure at some of the structure at some of the structure at the structure of the | | Of the frontage of 6. Ne performed to executate within 40 leat of Central Wey may execute 40 to 10 feet of Central Wey as measured above the michosit of the frontage of the subject property on Central | applicable right-of: **-Shuctures shall be modulated and terraced on the hillside in this zone. The tallest building torms shall be shall be enter of the subject properly with tower components located towards. Way. See Spec. | 91 | B. The marantan height of structures on the subject property may be breezed by 13 feet if the captiliser of tracting for uses in the CBD 1 or CBD 8 frances or makes a portion of the | paragraph will be the proposed upon the proposed upon as a Planned Unit Development, Chapter 125 of this—Code. As part of the PUD process, the City will determine whether the public benefit derived from. | , | 7. 9. This use is permitted only if the subject property abuts Central Way. The site and building must be dissipned so that this use is primarily otherized bewards Central Way. No expect or component of | Street or Fourth Avenue, the subject property abuts Third Avenue between First Street and Second Street or Fourth Avenue, the subject property abuts Third Avenue between First Street and Second Street or Fourth Avenue, the site and buildings must be designed to provide residential | Character and Scale supercent to Intro Avenue and Fourth Avenue. REGULATIONS CONCLUDED ON NEXT PAGE Revised 11/1/84, 0-3438 | For other information about parking and parking areas, see Chapter 105. | TOT destats of what hay exceed this height what 115. |
|--------------|------------------|------------|---------------------------------------|------------------------------|--|---|---|---|---|----------------|---|--------------|--|--|----|---|---|---|--|---|--|---|--|
| to find use | H | 50.5 | Ť | REAR | 0" 10 | | | - | · | | | - | | · | | | | | | | | | |
| T, read down | :MS | A manual t | KEQUIKED YAKDS | SIDE | oc. Reg. | | · | | | | | | | | | · | | | | | | | _] |
| S: Furs | MINIMUMS | _ | | TNORT | Gee S | | | | | | | | | | | | | | | | | ľ | |
| TION | | | , | azis toj | None | | - | | | | | | | • | | | | | | | | | |
| DIRE | 5: | \$3 | PROCE | REQUIRES | A.D.R. Chapter 142 | | | | | | | | | | _ | _ | | | | | | • | |
| SNO |)Ц' | v | SG OT | ⟨} | Any Retail Establishment, other than those | specificatly fisted, firrited, or prohibited | in this Zone, setting goods or providing | benking and related | See Souciet | Regutation 9 | | | | | | | | | | | ZC-CBD8/12-27-94 | | ECCINCIES |

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| USE ZONE CHART | 31107 | CBD-8 50.45; | | REG | See 1. The development of the subject property or adjacent rights-of-way must be consistent with the Section 1. Section 1. The development of Section 65 of this Chapter. | See 2. A minimum 20-tool front yard setback is required adjacent to: | | 3. The minimum required side and/or rear yard abutting the PR 3.8 and PLA 7A zones is 6 feet. | 4- Height of structure may be meseured above existing grade or everege building elevation; but nut | - Addition of the second of th | -5. No portion at a structure within 100 test of the PR 3-8, PLA 2A and PLA 7B sense tested to the notation of the sense flowers are sensed 30 test above the elevation of the Strokt St | | -7 | ψi | WEY | <u>*</u> | the polimeter of the subject property. | -8- The mannum height of standards coults subject property may be hercesed by 13 feet if the applimation of provides subtempose perime for uses in the CBD-1 or CBD-2 sense or makes a section of | the subject property or the proposed abacture available for public parking. Any proposed under this — paragraph will be reviewed and decided upon as a Planned thit Development, Chapter 185 of this — | -Code. As part of the PUD process, for City will determine whether the public bonels desired from providing the edditional parking is sufficient to estow the increase in height and building mass. | 2. — Or This use is parmitted only if the subject property abuse Central Way, If the subject property abuse Tried Average between First Street and Second Street or Fourth Average, the site eard buildings must | be designed to provide residential character and scale adjacent to Third Avenue and Fourth Avenue. | 9. +0 The site must be designed so that vehicles coming from and going to the site will be directed away from residential neighborhoods to the north of this zone. | REGULATIONS CONCLUDED ON NEXT PAGE Revised 11/1/84, O-3436 | For other information about parking and parking areas, see Chapter 105. | | For details of what may exceed this height firmt, see Chapter 115. For details regarding required yards, see Chapter 115. |
|------------------------------------|----------|----------------|--------------------------|-------------|---|--|----------------------|---|--|--|--|-----------------|--------------------|----------------------|----------------|---------------------|--|---|--|--|--|--|--|--|---|---------------------------------------|--|
| ACTES for REGULATIONS | XIMUMS | | SCORY SCAPE SHT OF | HEE STRU | 52 feet above D average- See | | grade-Eos Special | treguations - | 30 feet above the | elevation of 3rd | Avenue as | measured at the | projected midpoint | the subject property | on the nearest | applicable nght-of- | Rees. 4, 6, Auto | 3 | | | | | | | | | |
| De. THEN | MA | 3 | COVERAC | 701 | 100% | | | | | | | | | | | <u></u> | | | | | | | | | ı | | |
| FORST, read down to find use THEM, | | YARDS | . | KEVI | 0. and 3 | | | · <u></u> | | | _ | | | | | | | | | | | | | | | | |
| IST, reed o | UMS | REQUIRED YARDS | | 2IDE | Or Sec. Reg. | • | | | · · · - | | | | | | | | | | | | | | | | - | | |
| | MINIMUMS | 18 | TV | ERO! | 8 8 S | 9 | | <u></u> | | | | | _ | | | | | - | | | | | | _ |) | | |
| DIRECTIONS: | | | SIZE | T03 | None | | | | | | | | | | | | | | | | | | | | | _ | |
| DIRE | S: | CE | IEM SKO LIKED | BEG | A.D.A. Chapter 147 | ! | | | | | | | | | | | | | | | | | | | • | | 国国 |
| SNO | LL | A Jī | жест У жест | <u>↔</u> | Auth or | 586 4801A | | | | | | | | | | | | | | | | | | 2C-CBD8/12-27-94 | | \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ | FOOLNOLES |

| PAGE 101J | For other Information about parking and parking areas, see Chapter 105. For details of the regulations in this calegory, see Chapter 100. For information of the regulations in this category, see Chapter 95. For details of what may exceed this height limit, see Chapter 115. For details regarding required yards, see Chapter 115. | | | | L | | ſ | S | LOI | FOOTNOTES |
|---|---|----------------------------------|----------------------|------------------------------|----------------|---------|--------------|-------------|-------------------------|------------------------------------|
| c sidewalks and building planned walkways on relown Plan chapter tablished by a Lof Central subject which Avenue or height limit ection of 1st to on Market the midpoint e north. If a building yeen this use of the facade of of the facade of of the facade of | 10.41. Sie design must include instatistion of prodestrian integral between public addresses and building ordinances and between established properly and activiting or planned walkerys on abutting properties consistent with the major prodestrian routes in the Comprehensive Pan. 12.43. Heave to Comprehensive Pan. 12.44. Heave to Comprehensive Pan. 15. Do portion of a structure shall exceed the height established by a 3:1 angle starting at a point 41° above the elevation of Central Way as measured at the projected midpoint of the subject property on Central Way and continuing to a point which intersects the established 30° height limit above 3rd Avenue or 4th Avenue. 16. For properties on the west side of 1st Street, the 30° height limit shall be measured above the midpoint of the intersection of 1st Street, the 30° height limit shall be measured above the midpoint of the intersection of 1st Street, the 30° height limit shall be measured above the midpoint of the subject property bordering the PR zone to the north. 17. This use may be located on the Central Way level of a building only if there is an intervening retail store front between this use and the right-of-way. 18. Ground floor porches and similar entry features may encroach into the femness may not exceed 25% of the length of the facade of the structure. Provised 4482 | | | | | s | | | | Private Club or Lodge (coordinate) |
| 50.45.j | CBD-8 5 SPECIAL REGULATIONS | CATEGORY REQUIRED PARKING SPACES | ANDSCAPE CATEGORY | HEIGHT OF | REAR 5 | SIDE SO | FRONT REQUIR | LOT SIZE | REQUIRED REVIEW PROCESS | TEGULAT |
| Section | ZONE CHART Zone | USE | NOME . | THEM, across for REGULATIONS | offind use. TH | K down | : 1 | DIRECTIONS: | T | ions |

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|---|----------|----------------|-----------------------|--|--|--|--|--|--|--|--|---|-------------------------|---|--|--|--|---|--|--|---|---|
| | Section | 50.45.K | | consistent with the | | | A zones is 5 feet. | ing elevation, but not | -enoe loamod to the | ad at the midpoint of the | 1 ने नक्षार् | boove the elevation of property on Central | struct coupling toollas | onents tocated towards | 1by 12 teet if the appli- rmakes a portion of the | proposed discontinuor use single benefit dischool from and building mose. | | d. the subject property. A | uned wur une A.D.N. and ung units. Revised 11/1/84, O-3438 | | PAGE | 101K |
| | ž T | 2(| | way must be o | | | 8.6 and PLA 7. | everage build | rand PLA 78 | od ee megatu | 1/2 | of the subject | ble rong. The | dr tower com | the incressor | nit Bevelopm other the pub | | e not permitte be audible off | must be subm Xontains dwelti 3E | A TO | | |
| | Zone | CBD-8 | SPECIAL REGULATIONS | The development of the subject property or adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. | A minimum 20-toot from yand setback is required adjacent to: a. Fourth Avenue between 2nd Street and 3nd Street; | Avenue and 4th Avenue; | The minimum required side and/or rear yard abutting the PR 3.6 and PLA 7A zones is 5 feet. | 4. Height of enceture may be measured above existing grade or average building elevation, but not both. | 6-terporton or a structure within 100 that of the PG 3.0, PCA 7A and PLA 7B sense leasted to the | -north of this tons may exceed 30 test giove the develop of the bifoot; are bifoot; definitions of the forest the misport of t | transport the experience of the experimental and the transport that the transport that the transport that the transport that the transport that the transport that the transport that the transport that the transport that the transport that the transport transport that the transport the transport that the transport that the transport th | Ne portion of a structure within 4th leaf or Leaves Way may exceed. 34 deer 800v6 the elevation of Central Way as measured above the national of the trottage of the subject property on Central Way. | | strail be grouped towards the earlier of the subject preparty with lower components tocated towards the partnets of the subject preparty: | 8. The maximum height of shuotures on the subject property may be incressed by 12 feet if the eppirature provides subtenement pasking for uses in the OBD-1 or OBD-2 zones or makes a portion of the | person properties to the properties of the person of the p | ly is seminated to those only. | s however, by quantum appropriate property. May ordy treat small arinnals on the subject property. Outside runs and other outside toolisies for the entimals are not permitted. Site must be designed so that notise from this use will not be audible out the subject property. A | oenticate to this effect eighed by an Acoustical Engineer must be succrimed with the A.L.F. and building permit application. A veterinery office is not permitted II the subject property contains dwelling units. REGULATIONS CONCLUDED ON NEXT PAGE REGULATIONS CONCLUDED ON NEXT PAGE | 200 Albert Information arterior and nation pract as a contract IDS | For details of the regulations in this calegory, see Chapter 100. | is height limit, see Chapter 115. ds, see Chapter 115. |
| USE ZONE CHART | | | | . The development of the subject property regulations of Section 65 of this Chapter. | | Third Street, between 3rd Avenue and 4th Avenue; Markel Street. | . The minimum required side an | Height of akucture may be me both. | - No portion of a structure within | north of this tone may exceed between 1st Street and 2nd 6 | tratings of the quality con | Ne podion of a structure within Central Way as measured abo Way. | | chall be grouped lowards the earlier the partners of the eudject property. | The marithum beight of structs | peregrafit will be reviewed an Code. As part of the PUB pre | when we will be a controlled to the controlled with the controlled | ن في ف | ceruicale to this effect sign building permit application. d. A veterinery office is not pe REGULATIONS | other information and cardio | For details of the contractors in this category, see Chapter 100 | For details of what may exceed this height limit, see Chapter 116. For details regarding required yards, see Chapter 116. |
| USE ZO | - | SED. | PAREZING SPA | 5 J | of gross floor area. 2. See | Section 60 of this Chanter | 3 | 4 | Ψ | | <u>+1</u> | | ** | · | | | <u> </u> | | | - 1 5 | | F 6 |
| | \vdash | | CATEGORY | - SS | ន <u>ម</u> ិស្ត | <i>ගී ස</i> වී | 3 | <u> </u> | | | | | | | | | | · | | - | | |
| S¥3 | 十 | | CATEGORY | <u>د</u> و | Special Reg. | · | | 当月 | £ | <u>1</u> | dpoint re of | roperty | pht-of- | See Spec. | | | | | | + | | |
| FIRST, reed down to find use THEM, ecross for REGURATIONS | MAXIMEMS | | ныснт оғ 51RUCTURE | 9 | <u>·</u> | Grade: See Special | through 0 | 30 feet above the elevation of 3rd | Avenue as | measured at the | projected midpoint | the subject property | applicable right-of- | Regs. 4.5. A.D. | | | | | | | | |
| UBB THEN | 1 | 3 | LOT COVERAG | = Q | | | | | | | | | | | | | <u> </u> | - | | $\frac{1}{2}$ | | |
| Day to End | | YARDS | веля | P god | | | • | - · | | | | | | | | | | | | | | |
| PST, reed o | MINIMIME | REQUIRED YARDS | SIDE | Sec. Reg. | AT.) | | | | | | | - | | | | | | | | - - | - | |
| - 1 | Ž | لـا | FRONT | 1 0 | <u> Q</u> | | | | | | | | | - | | | | | | ╣ | | |
| DIRECTIONS: | | | REGUIRED | A.D.R. None Chapter | | · | | | | | | | | · | <u> </u> | | | | | | | OTES |
| SN | OI.I | ירא. | ∱ seen | | Treated 2 | _ | - | | | | | | · | | | | | | 2C-CBD8/12-27-84 | | | FOOTNOTES |

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| SZ | DIRE | CTIONS | FIRS | T, mad dow | m to find use | THEN, | ecross for REGUI | LATIONS | · · · · · · · · · · · · · · · · · · · | USE 2 | ZONE CHART |
| REGULATIONS | REQUIRED REVIEW PROCESS | LOT SIZE | FRONT | OMS OURED Y | ARDS | LOT COVERAGE W | HEIGHT OF STRUCTURE S | LANDSCAFE | SIGN | REQUIRED PARKING SPACES | Zone Section CBD-8 50.45.1 |
| Office Use (continued) | <u>4.</u> | No portion 3:1 angle Way as m property c intersects 4th Avenu For proper shall be m Street and Street, the | n of a startin easure on Cen the est le. rties on easure 3rd A | structure g at a pad at the tral Watablished the wed aboy venue. | e shall coint 41 coint 41 coint 41 coint 41 coint and coint coint br>coint ci | exceed above ted micontinue eight leading idpoin opertiell be micontinue opertiell be micontinue opertiell be micontinue opertiell be micontinue opertiell be micontinue opertiell opertie | the height the elevar dpoint of the interest the elevar of the interest with fron leasured above | establi: ion of Cone subje int whice 3rd Avo | shed by Central ct ch enue or ght lim n of 1st Marke midpo | | 10: Anciliary assembly and manufacture of goods on premises may be permitted as part of an office use it: a. The anciliary assembled or manufactured goods are subordinate to and dependent on the office use; and b. The outward appearance and impacts of this office use with anciliary assembly and manufacturing activities must be no different from other office uses. 11: If the subject property abuts Third Avenue between First Street and Second Street, or Fourth Avenue, the size and buildings misst be designed to provide residential character and scale adjacent to Third Avenue and Fourth Avenue. 12: The site must be designed so that vehicles coming from and going to the site will be directed away from residential neighborhoods to the north of the zone. 13: Site design must include instalization of pedestrian tritages between public sidewelk and building entrances and between watereys on the subject property and existing or planned waterways on abutting properties consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan. 14: Landscape Category C is required if the subject property is adjacent to Planned Areas 7A or 7B, or PR 3.6 zones. 15: Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. 16: Ground floor porches and similar entry features may encroach into the front yard, provided the total horizontal dimension of the structure. |
| ZC-C8D88/5-3-93 | 1. | This use n | nay be ere is a | located | d on the | : Centr | al Way leve | el of a b | ouilding | | , Revised 4개의 |
| FOOTN | OTE | S | | | | | | | | | For other information about parking and parking areas, see Chapter 105. For details of the regulations in this category, see Chapter 100. For information of the regulations in this category, see Chapter 95. For details of what may exceed this height limit, see Chapter 115. For details regarding required yards, see Chapter 115. |

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| SNO | DIREC | CTIONS | FIRS | T, read dow | n to find use | THEN, | across for REGUL | ATIONS | | USE Z | ONE CHART | C4! |
|------------------|--------------------------|--------|--|-------------------------|---------------|----------|---|--|------|---|--|---|
| REGULATIONS | REQUIRED REVIEW PROCESS | SIZE | FRONT SIZE INDEAN SWINDING SWI | | | COVERAGE | EEGHT OF MESTALL OF STRUCTURE | LANDSCAPE CATEGORY | SIGN | REQUIRED PARKING SPACES | , <u>L.</u> | Section 50.45.m |
| ZC-CBDB/12-27-94 | A.D.R. Chapter 142 | None | -0- | BOIS & SEC. Reg. AND IN | C and 3, | 100% | 62 test above average building olevation or existing grade. See Special Regulations 4 through 6. 30 feet above elevation of Avenue as measured projected rof the from the subject on the near applicable way. See Regs. 4. | D See Special Reg43- II Dove the of 3rd 4th at the midpoint tage of propertiest right-of Spec. | t t | 1 per every four people based on maximum occupancy load of any area of worship. See Spec. Reg. 12: 10 See Section 60 of this Chapter. | SPECIAL REGULATIONS 1. The development of the subject property or adjacent rights-of-way must regulations of Section 65 of this Chapter. 2. A minimum 20-foot front yard satback is required adjacent to: a. Fourth Avenue between 2nd Street and 3rd Street; b. Third Street, between 3rd Avenue and 4th Avenue; c. Market Street. 3. The minimum required side and/or rear yard abutting the PR 3.6 and Pt 4. Height of structure may be measured above existing grade or average thoth. 6. No portion of a structure within 100 feet of the PR 3.6, PLA 7A and Pt A north of this sane may accord 30 feet above the elevation of 2nd Street between 1st Street and 3nd Street, 4th Avenue, or Market Street as mis frontage of the subject property on the applicable shetting right of way the subject property on the applicable shetting right of way the subject property within 40 feet of Central Way may exceed 39 from the portion of a structure within 40 feet of Central Way may exceed 39 from the property of the subject property with lower of the subject property with lower of the property of the subject property with lower of the property of the subject property may be increased provides subtermensen parking for uses in the CBD 1 or GBD 2 considered property of the propessed structures on the subject property may be increased provided as a subject property with lower of the property of the propessed structure available for public parking paragraph will be reviewed and decided upon as a Planned Unit Development of the additional parking is sufficient to allow the increase in the designed to provide residential character and scale adjacent to Third Avenue between First Street and Second Street or Fourth Avenue be designed to provide residential character and scale adjacent to Third Avenue between First Street and Second Street or Fourth Avenue be designed to provide residential character and scale adjacent to Third Avenue between First Street and Second Street or Fourth Avenue be designed to provide residential character and scale adjacent t | A 7A zones is 5 feet. wilding elevetien, but not- 7B zones located to the- pard Street, 3rd Avenue- council at the midpoint of the pard 1 A A A TOTALE part 1 A A TOTALE The tailest building forms components incisied towards ased by 13 feet if the appli- ase or makes a portion of the tary proposal under this- priorit, Chapter 125 of this wilding building mass the site and buildings must Avenue and Fourth Avenue |
| FOOTN | OTES | } | - t | | | | | | | | For other information about parking and parking areas, see Chapter 105. For details of the regulations in this category, see Chapter 100. For Information of the regulations in this category, see Chapter 95. For details of what may exceed this height timit, see Chapter 115. For details regarding required yards, see Chapter 115. | PAGE 101M |

| SNO | DIREC | DIRECTIONS: | | and down | FIRST, reed down to find use THEN, ecro | THEN, | mes for REGULATIONS | ATIONS | | USE 2 | | |
|--|-----------------|-------------|----------|----------------|---|-------------|---------------------|------------------|----------------|--------|---|------------------|
| DIT. | 2 | × | MINIMOMS | MS | | MAXIM | IMUMS | | - | ٩ | <u> </u> | |
| VU | CE | | REQ | REQUIRED YARDS | SUR | 3: | | | | SED. | CBD-8 50.45.r | |
| USE | | 3Z | | | | NEBYC | TOT SEUT | | YAC | AC 25V | | |
| ☆ | KEAIE | is toi | TNOST | 3ŒS | REAR | | HEIGH | LANDSC CATEGO | CVIECO SICN | REQUI | SPECIAL REGULATIONS | |
| Stacked or Attached Dwelling Units (continued) | | | | | | | | | | 희 | 11: Sie design must include installation of pedestrian liviages between public sidewalks and building entrances and bottween walkneys on the subject property and existing or planned walkneys on chulting properties consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan. | 8 s |
| | | | | | | _ | | | | 리 | 12. Refer to Chapter 1 to determine what other provisions of this Code may apply to the subject property. | |
| | | | | | | | | | · | | 4. No portion of a structure shall exceed the height established by a 3:1 angle starting at a point 41' above the elevation of Central | - |
| | | | | | | | | | | | Way as measured at the projected midpoint of the subject property on Central Way and continuing to a point which intersects the established 30' height limit above 3rd Avenue or | |
| | | | | | /1-77/ | | | | | | 4th Avenue. | |
| | | | | | <u></u> | <u> </u> | | | | | 5. For properties on the west side of 1st Street, the 30' height limit shall be measured above the midpoint of the intersection of 1st | r 2 : |
| | | | | | | | | | | | Street and 3rd Avenue. For properties with frontage on Market Street, the 30' height limit shall be measured above the midpoint of the subject property bordering the PR zone to the north | |
| | | | | | | | | | | | 1. This use may be located on the Central Way level of a building | · · · · - |
| | | | | | | | | | | | only if there is an intervening retail store front between this use and the right-of-way. | <u>-</u> |
| | | | | | | | | | | | 12 Ground floor porches and similar entry features may encroach into the front yard, provided the total horizontal dimension of | |
| | · - | | | | | | | | | | such elements may not exceed 25% of the length of the facade of the structure. | |
| | | | | | · · · · · · · · · · · · · · · · · · · | | | | | | | |
| ZC-CB08B/5-3-93 | | | | | | | | | | | Revise | Revised 4/93 |
| | | | | _ |] | | | | | | - For other brometion about parking and parking areas, see Chapter 105. For details of the rendefines in the calcony see Charles 100. | |
| | | | | | | | | | | | | |
| FOOT NOTES |) I ES | | | | | | | | | | For details of what may exceed this height limit, see Chapter 115. For details regarding required yards, see Chapter 115. | |

| S S S S S S S S S S S S S S S S S S S | × | <u> </u> | | | | | | | NS USE ZONE CHART | | | | | | | | |
|---|--|----------|-------|-----------------|----------|--------------|---|---|-------------------|--|--|--|--|--|--|--|--|
| S S S S S S S S S S S S S S S S S S S | 8 | | MINIM | IMS | | MAXIMUMS | | | | 1 | Zone Section | | | | | | |
| REGU TSE | | | | UIRED Y | ARDS | | | 1 | | S | CBD-8 50.45.s | | | | | | |
| \Diamond | REQUIRED REVIEW PROCESS | LOT SIZE | FRONT | SIDE | REAR | LOT COVERAGE | HEIGHT OF STRUCTURE | LANDSCAPE CATEGORY | SIGN CATEGORY | REQUIRED PARKING SPACES | SPECIAL REGULATIONS | | | | | | |
| Public Utility, Government Facility, or Community Facility | A.D.R. Chapter 142 | None | | O' pec. Reg. | or and 3 | 100% | sz feet above average building cloustlen or evicting grade. Soe Special Regulations 4 through 8. Avenue as measured a projected in of the front the subject on the near applicable way. See Regs. 4.6. the height | D See Special Reg. 8-13: 41h 41h 41h age of propertiest right-of Spec. 4470 (| B | See Section 105.25. See also Section 60 of the Chapter. | 1. The development of the subject property or adjacent rights-of-way must be consistent with the regulations of Section 65 of this Chapter. 2. A minimum 20-foot front yard setback is required adjacent to: a. Fourth Avenue between 2nd Street and 3rd Street; b. Third Street, between 3rd Avenue and 4th Avenue; c. Market Street. 3. The minimum required side and/or rear yard abunting the PR 3.6 and PLA 7A zones is 5 feet. 4. Height of structure may be measured above existing grade or average building elevation, but not both. 5. No portion of a structure within 100 feet of the PR 3.6, PLA 7A and PLA 7B zones located to the north of this zone may access 30 feet above the elevation of 2nd Street, and Avenue, between 1st Street and 2nd Street, 4th Avenue, or Market Street as measured at the midpelnt of the footings of the subject property on the applicable shafting right of way. 6. No portion of a structure within 40 feet of Central Way may exceed 30 feet above the elevation of Central Way as measured above the midpoint of the trontage of the subject property on Central Way. 7. Structures shall be modulated and terraced on the hillside in this zone. The tailost building forms shall be grouped towards the center of the subject property with lower components located terraced property with lower components located terraced property with lower components located terraced property with lower components located terraced. | | | | | | |
| | 3:1 angle starting at a point 41' above the elevation of Central Way as measured at the projected midpoint of the subject property on Central Way and continuing to a point which intersects the established 30' height limit above 3rd Avenue or 4th Avenue. 8. The maximum height of structures on the subject property may be increased by 13 feet if the cant provides existeranean parking for uses in the GSD 1 or GDD 2 cones or makes a port subject property or the proposed structures on the subject property may be increased by 13 feet if the cant provides existeranean parking for uses in the GSD 1 or GDD 2 cones or makes a port subject property or the proposed structures on the subject property may be increased by 13 feet if the cant provides existeranean parking for uses in the GSD 1 or GDD 2 cones or makes a port subject property or the proposed structures on the subject property may be increased by 13 feet if the cant provides existeranean parking for uses in the GSD 1 or GDD 2 cones or makes a port subject property or the proposed structures on the subject property may be increased by 13 feet if the cant provides existeranean parking for uses in the GSD 1 or GDD 2 cones or makes a port subject property or the proposed structures on the subject property may be increased by 13 feet if the cant provides existeranean parking for uses in the GSD 1 or GDD 2 cones or makes a port subject property or the proposed structures on the subject property may be increased by 13 feet if the cant provides existeranean parking for uses in the GSD 1 or GDD 2 cones or makes a port subject property or the proposed structures on the subject property may be increased by 13 feet if the cant provides existeranean parking for uses in the GSD 1 or GDD 2 cones or makes a port subject property or the proposed structures on the subject property or the property or the property or the property or the property or the property or the property or the property or the property or the property or the property or the property or the property or the prop | | | | | | | | | B. The maximum height of structures on the nutrient property may be increased by 13 feet if the applicant provides subterranean parking for uses in the CBD-1 or CBD-2 cones or makes a pertian of the subject property or the proposed crusture available for public parking. Any proposal under this paragraph will be reviewed and decided upon as a Planned Unit Development, Chapter 135 of this Code: As part of the PUD process, the City will determine whether the public benefit derived from providing this additional parking is sufficient to allow the increase in height and building mass. Landscape Category C is required if the subject property is adjacent to Planned Areas 7A or 7B, or PR 3.6 zones. Landscape Category A or B may be required depending on the type of use on the | | | | | | | |
| zc-c808/12-27-94 FOOTN | For properties on the west side of 1st street, the 30 lieight finite. Street and 3rd Avenue. For properties with frontage on Market Street, the 30' height limit shall be measured above the midpoint of the subject property bordering the PR zone to the north. PR 3.6 zones. Landscape Category A or B may be required depending on the type of use on the subject property and the impacts associated with the use on nearby uses. The site must be designed so that vehicles coming from and going to the site will be directed away trom residential neighborhoods to the north of this zone. Healer to Chapter 1 to determine what other provisions of this Code may apply to the subject property bordering the PR zone to the north. For other information about parking and parking areas, see Chapter 105. For other information of the regulations in this category, see Chapter 95. | | | | | | | | | | | | | | | | |

| | Zone H Section | | CBD-8 50.45.1 | SPECIAL REGULATIONS | May be permitted only if it will not unreasonably impede pedestrian movement or create traffic safety problems. May install transit route and information signs and markers. | enty and adjacent rights-of-way must be play. Habova anisting grade or above streng traces and the 16-16-16-16-16-16-16-16-16-16-16-16-16-1 | Revised 11/1/84, O-34/36 | For other information about parking and parking areas, see Chapter 105. For details of the regulations in this category, see Chapter 100. For details of the regulations in this category, see Chapter 95. For details of what may exceed this height limit, see Chapter 115. For details regarding required yards, see Chapter 115. |
|-----------------------------------|----------------|------------|----------------|-------------------------|---|--|--------------------------|--|
| USE ZONE CHART | | s | | ВЕОЛИВЕР РАВЕПИС SP. | None. 1. May be permitted or problems. 2. May krated trensit is | 1. The development of the subject propreduction ingulations of Section 65 of this Chain 105.25. See also and between the series of Section 60 of this Chain and both. Also performed a structure within 105 of the between the Seven and Seven Seven and Seven and Seven Seven and Seven Seven and Seven Seven and Seven Seven and Seven Seven and Seven Seven and Seven Seven Seven Seven and Seven | | For other information i For details of the regit For information of the i For details of what ma |
| | | _ | | CYLECOBL | See Spec. Reg. | α | | |
| GULATIONS | | 7 | | CVIECORY | | 42 feet above the clear above the clearance of the same _ | |
| across for REGULATIONS | | XIMUMS | | HEIGHT OF STRUCTURE | 15 feet above average building elevation. | Avenue as upon of the project of the | | |
| FIRST, read down to End use THEM, | | YW | 30 | LOT CÔYERA | 100% | | | |
| but to find | | | YARDS | REAR | 0 | o determined on | 4 |] [|
| PST. read of | | MINIMUMS | REQUIRED YARDS | SIDE | 0 | A CREO-Dy-Cr | _ | |
| | | MININ | | FRONT | 0 | | - | J |
| DIRECTIONS: | - | | | 3ZIS 101 | No. | Q GN | 4 | 50 |
| DIRE | | SS | SEO(| REQUIRED PRO | None | A.D.R. Chapter 142 | | OTE. |
| S | NO | SECULATION | | | Public Transh Shetter | Public Park | 7C-CRD81 72-27-84 | FOOTNOTES |

50.60 SPECIAL PARKING PROVISIONS IN THE CBD 1. 2. AND 8 ZONES

1. General

The provisions of this Section govern parking for uses in the CBD 1, 2, and 8 zones. To the extent that these provisions conflict with the provisions of Chapter 105, the provisions of this Section prevail. Where no conflict exists, the provisions of Chapter 105 apply to parking for uses in the CBD 1, 2, and 8 zones.

2. Number of Spaces

To the extent that paragraphs 3 and 4 of this Section require that uses in the CBD 1, 2, and 8 zones provide parking, the following establishes the number of spaces required:

- Residential uses must provide 1.7 parking spaces for each dwelling unit.
- Restaurants and taverns must provide one parking space for each
 125 square feet of gross floor area.
- c. All other uses must provide one parking space for each 350 square feet of gross floor area.

3. Certain Floor Area Exempt from Parking Requirements

The following paragraphs establish several situations under which properties that are both within Local Improvement District 119 and the CBD 1, 2, and 8 zones are exempt in whole or in part from providing parking spaces:

- a. The owner need not increase the number of parking spaces for any floor area that existed prior to September 18, 1978, unless it is converted to a use requiring more parking spaces under paragraph 2 of this Section. If floor area is converted to a more parking intensive use, the owner has a parking obligation equal to the difference between the parking required for the former use and the parking required for the new use. Existing off-street parking provided for any use may not be reduced below the number required for that use based on paragraph 2 of this Section.
- b. The parking obligation of the subject property is reduced as follows:
 - 1) If new floor area was created or existing floor area converted to a more parking intensive use between September 20, 1976, and October 4, 1982, the number of stalls required for the subject property is reduced by the amount of the subject property's assessment under LID #119 divided by \$2,300.
 - 2) If new floor area is created or existing floor area is converted to a more parking intensive use after October 4, 1982, the number of stalls required for the subject property is reduced by the amount of the subject property's assessment under LID #119 divided by \$6,000.

August 1987 (Ordinance 3031) February 1983 (Ordinance 2729)

3) If the subject property was vacant as of September 18, 1978, the number of parking stalls required for the subject property is reduced by 1 for each 350 sq. ft. of gross floor area created on the ground floor of the subject property.

4. Options for Meeting Parking Obligations

The applicant may meet his/her parking obligation, computed using paragraph 2 of this Section and after reductions under paragraph 3 of this Section, in either or a combination of the following ways:

- By providing the required number of parking stalls in or on the building containing the primary use conducted on the subject property.
- (b. Providing, or paying the total cost of providing, with the consent of the City, the additional parking spaces in an existing municipal parking facility within the CBD, Planned Areas 6 or 7 zones, or Park/Public Use zones located adjacent to the CBD.
 - c. By satisfying both subparagraphs herein:
- O-2729 ((1) paying \$6,000 for each required parking stall or fraction of a stall into a special fund that will be used to provide and upgrade municipal off-street parking within the CBD, Planned (Areas 6 or 7 zones, or Park/Public Use zones located adjacent to the CBD; and
 - (2) purchasing one annual parking permit for a municipal parking facility for each three parking spaces required for the use by this code. When this results in a fraction, the number shall be rounded up to the next whole number if the fraction is at least 0.66. The parking permit requirement shall be satisfied by obligating business occupants of the subject property to purchase such permits as part of the application for a business license or the annual renewal of a business license. A business owner may request that the number of annual permits required be reduced to no more than the number of workers at the business. The decision on a request for such reduction will be made in the same manner as provided in Sections 170.60 through 170.65 of this code. Any such reduction will be effective only for permits required for the future and only for the business for which the reduction was requested.

July 1995 (Ordinance 3486) August 1987 (Ordinance 3031) February 1983 (Ordinance 2729)

50.62 BUILDING HEIGHT PROVISIONS IN THE CBD (NEW SECTION)

- In cases where the height of structures is specified in number of stories, the following heights per story are allowed:
 - a. Ground floor retail; ground floor restaurant and tavern; ground floor entertainment/cultural and/or recreational facility shall be a minimum of 13' in height and a maximum of 15' in height.

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- b. Office: private club or lodge; church; private club or lodge; school, daycare center; public utility, government facility, or community facility; public park; ground floor of hotel or motel; retail above the ground floor shall be a maximum of 13'.
- c. Residential; hotel or motel above the ground floor shall be a maximum of 10'.
- 2. To determine the allowed height of structure, determine the number of stories allowed in the use zone charts and apply the allowed height per story specified in Section 50.62.1. For example, if three stories are allowed and the proposed use is ground floor retail with two stories of residential above, the allowed height would be 35'.
- 3. Height shall be measured above the point of measurement (e.g. above average building elevation, or above right-of-way) as specified in the particular use zone charts. For purposes of measuring building height above the abutting right-of-way(s), alleys shall be excluded.
- 4. In addition to the height exceptions established by Section 115.60 of this Code, the following exceptions to height regulations in CBD zones are established:
 - a. Decorative parapets may exceed the height limit by a maximum of 4 feet, provided that the average height of the parapet around the perimeter of the structure shall not exceed 2 feet.
 - b. For structures with a peaked roof, the peak may extend 8' above the height limit if the slope of the roof is equal or greater than four feet vertical to 12 feet horizontal.

50.65 DESIGN REGULATIONS FOR THE CENTRAL BUSINESS DISTRICT

| 50.65,1. | Introduction |
|----------|------------------------------|
| | a. General |
| | b. Applicability |
| | c. ADR Procedures |
| • | d. Landscaping |
| 50.65.2. | Pedestrian-Oriented Elements |
| | a. Installation of Sidewalks |
| | b. Pedestrian Weather Pro |
| | c. Access to Buildings |
| | d. Pedestrian-Oriented Spa |
| | e. Blank Wall Treatment |
| | f. Treatment of Building Fa |
| | g. Screening of Certain Are |
| 50.65.3. | Public Improvements and Site |
| | a. Pedestrian-Oriented Ele |
| | b. Required Major Pedestri |

- Sidewalks

 - ather Protection
 - lings
 - ented Space and Plazas
 - atment
 - uilding Facades
 - ertain Areas

and Site Features

- ented Elements Provisions Supersede
- r Pedestrian Pathways
- C. Public Improvement and Site Feature Standards and Masterplan for Public Property
- d. On-site Improvements

50.65.4. Parking Area Location and Design

- Location of Parking Lots
- Parking Lot Entrances and Driveways b.
- Pedestrian Access Within Parking Lots C.
- Internal Parking Lot Landscaping d.
- Perimeter Parking Lot Landscaping ę.
- Perimeter Parking Lot Landscaping Adjacent Properties f.
- **Parking Garages** g.
- Miscellaneous Parking Area Design Details

Scale a. Techniques to Moderate Bulk and Mass 50.65.5.

- Achieving Human Scale
- Techniques to Achieve Architectural Scale

50.65.6. Building Material, Color and Detail

- Required Elements
- b. **Prohibited Materials**
- Metal Siding C.
- Concrete Block d.
- Lighting of Awnings
- Certain Signs Prohibited f.
- Covering of Existing Facades g.
- **Building Cornerstone or Plaque** h.
- **Building Corners** i

50.65.1. Introduction

- a. <u>General</u> This Section 50.65 establishes the design regulations that apply to development in the CBD. The remainder of this subsection 50.65.1 provides general information regarding the design regulations and their applicability in specific instances or to certain types of development in the CBD.
- b. Applicability The provisions of this Section 50.65 apply to all new development within the CBD. The provisions of Chapter 142 and Chapter 162 of this Code regarding A.D.R. and Nonconformance establish which of the regulations of this Section 50.65 apply to developed sites within the CBD. Where provisions of this Section 50.65 conflict with provisions in any other section of the Code, this section prevails.
- c. A.D.R. Procedures The City will use Chapter 142 of this Code to apply the regulations of this Section 50.65 to development activities that require A.D.R. approval. The City will use the Design Principles in the Comprehensive Plan to interpret how the regulations of this Section 50.65 apply to particular properties. In addition, the City shall determine, on a case-by-case basis as part of the A.D.R., whether, particular regulations of this Section 50.65 apply in a particular instance, based on the policy basis for the regulation as stated in the Downtown Plan Chapter of the Comprehensive Plan.
- d. <u>Landscaping</u> Various places in this Section 50.65 require that landscaping be installed and maintained. The following provisions apply to the installation and maintenance of all landscaping installed under the provisions of this Section 50.65 unless otherwise specifically indipated:
 - 1) At the time of planting, deciduous trees must be 2 in diameter, as measured using the standard of the American Association of Nurserymen, and coniferous trees must be 5 in height at the time of planting.
 - 2) Shrubs must be 18" high at the time of planting.
 - 3) Drought-tolerant plants are encouraged.
 - 4) The City will review plant choice and specific plant location as part of the A.D.R. approval. Where appropriate, the City will apply the provisions of Section 95.20.2.c to require additional or more mature landscaping.

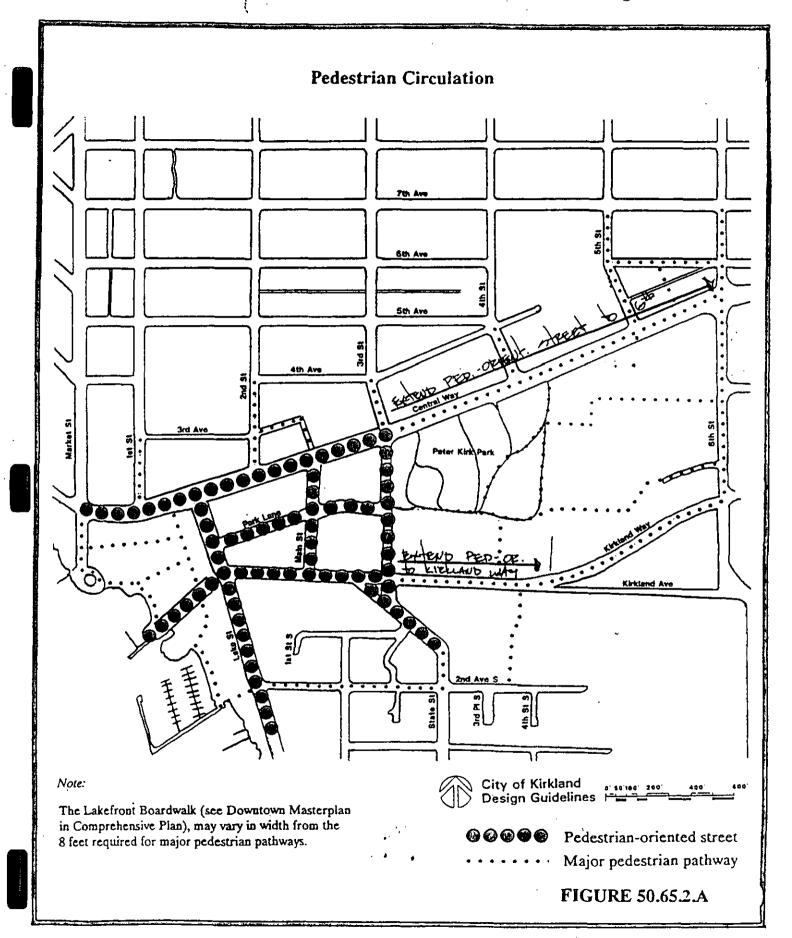
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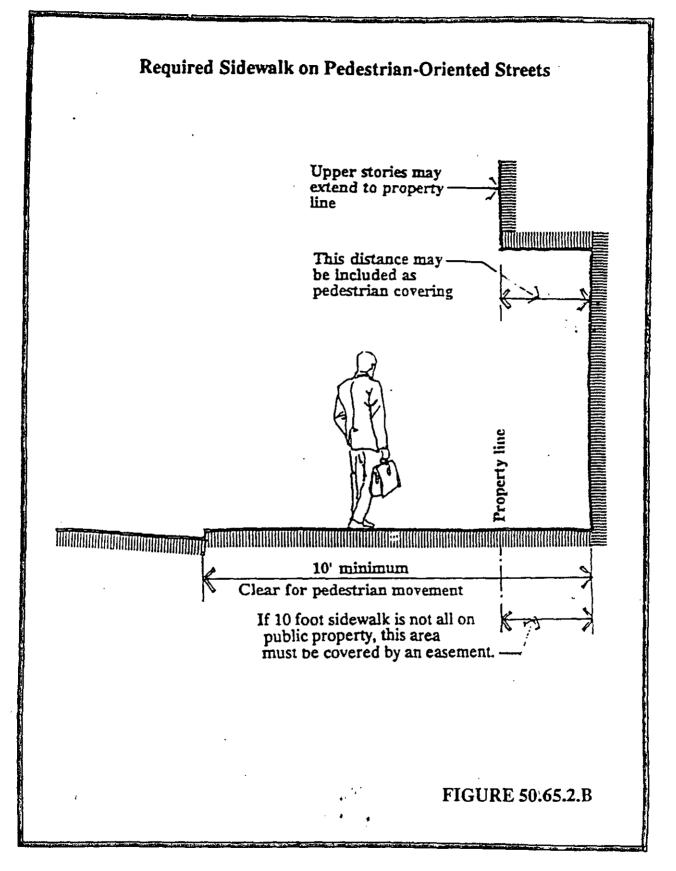
- 50.65.2. Pedestrian-Oriented Elements This subsection contains regulations which require various pedestrian-oriented elements on or adjacent to the subject property within the CBD. (or as specified in the Public Improvement and Site Feature
 - a. Installation of Sidewalks—The applicant shall install a sidewalk constructed of concrete or unit pavers, at least 10' in width, along the entire frontage of the subject property adjacent to each pedestrian-oriented street. If the existing sidewalk is less than 10', the difference may be made up with a public easement over private property. Buildings may cantilever over such easement areas, flush with the property line.

See Figure 50.65.2.a. and b.

- b. <u>Pedestrian Weather Protection</u> The applicant shall provide overhead weather protection, consistent with the following standards, along at least 80% of the frontage of the subject property on each *pedestrian-oriented street*:
 - 1) The overhead weather protection may be composed of awnings, marquis, canopies or building overhangs;
 - 2) It must cover at least 9 of the width of the sidewalk. The width may vary (not less than 3') to accommidate street trees, street lights, etc.;
 - 3) The lowest element of the overhead weather protection must be at least 8' above the ground immediately below it;
 - 4) The City will specifically review and approve the color, material and configuration of all overhead weather protection as part of the A.D.R. decision. See also Section 50.65.6.e., <u>Lighting of Awnings</u>.
- c. Access to Buildings All buildings on property abutting pedestrian-oriented streets must have direct access from the sidewalk of the pedestrian-oriented street to the main building entrance.
- d. <u>Pedestrian-Oriented Space and Plazas</u> If the subject property abuts a *pedestrian-oriented street* or public park, the space, if any, between the sidewalk and the building must be developed consistent with the following criteria:
 - 1) It must:
 - a) Enhance visual and pedestrian access, including handicapped access, onto the subject property from the sidewalk.
 - b) Contain paved walking surface of either concrete or approved unit pavers.
 - c) Contain on-site or building-mounted lighting which provides adequate illumination.
 - d) Contain two linear feet of seating area or one individual seat per 65 square feet of area between the sidewalk and the building.
 - e) Contain landscaping, such as trees, shrubs, trellises, or potted plants.

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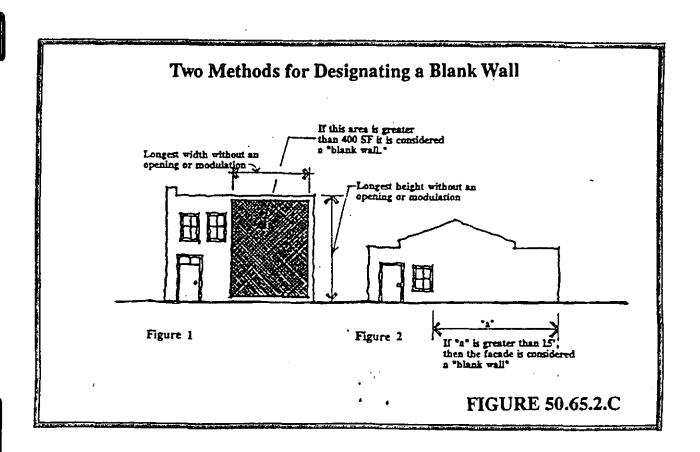


2) It may not include asphalt or gravel pavement or be adjacent to an unscreened parking area, a chain link fence or a blank wall which does not comply with the requirements of subsection 65.2.f. of this Chapter.

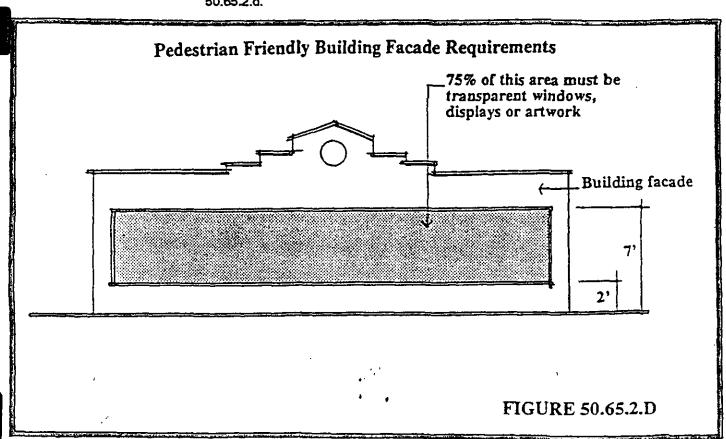
e. Blank Wall Treatment

- 1) Each wall or portion of a wall that is closer than 50' to any exterior property line of the subject property and is visible from any right-of-way must be screened or treated in at least one of the ways listed in subsection 65.2.e.3) of this Chapter if it meets the criteria for a blank wall under subsection 65.2.e.2) of this Chapter.
- 2) A blank wall is any wall or portion of a wall that meets either of the following criteria:
 - a) A wall or portion of a wall with a surface area of at least 400 square feet having both a length and a width of at least 10' without a window, door, building modulation at least 1' in depth or other architectural feature.
 - b) Any wall or portion of a wall between 4' and 13' above ground level with a horizontal dimension longer than 15' without a window, door, building modulation at least 1' in depth or other architectural feature.

See Figure 50.65.2.c.



- 3) At least one of the following techniques must be used to treat or screen blank walls:
 - a) By the installation of a vertical trellis with climbing vines or plant material in front of the blank wall.
 - b) By providing a landscaped planting bed at least 5' wide or a raised planter bed at least 2' high and 3' wide in front of the blank wall and planted with plant materials that will obscure or screen at least 50% of the blank wall within 2 years.
 - By providing artwork, such as mosaics, murals, sculptures or bas-relief on the blank wall.
- 4) The provisions of this subsection 65.2.e. of this Chapter may be modified or eliminated as part of the A.D.R. decision if they conflict with the Uniform Building Code.
- f. <u>Treatment of Building Facades</u> Each facade of a building facing a *pedestrian-oriented* street or public park must contain or be treated with at least one of the following elements:
 - It must contain transparent windows or window displays comprising at least 75% of the area of the facade between 2' and 7' above ground level. See Figure 50.65.2.d.



- 2) It must contain sculptural, mosaic or bas-relief artwork comprising at least 75% of the area of the facade between 2' and 7' above ground level. See Figure 50.65.2.d.
- 3) The area next to the facade must be developed such that for every 10 linear feet of the facade, at least 20 square feet of this area must be developed with landscaping consistent with subsection 65.2.e.3)a) or 65.2.e.3)b) of this Chapter, depending on the location, dimensions, and size of the area.
- g. <u>Screening of Certain Areas</u> All loading areas, service areas, outdoor storage areas of more than 100 square feet, areas containing waste storage and disposal facilities or containers and similar areas must be:
 - 1) Located on the subject property so that they are not visible from any street or public park. If the City determines that this is not physically possible, then these areas must be screened from public view using a compact evergreen hedge, a solid wall or fence, or in a manner approved by the City as part of the A.D.R. decision.
 - 2) Screened from on-site ground floor uses using a compact evergreen hedge, a solid wall or fence, or in a manner approved by the City as part of the A.D.R decision.

- 50.65.3. <u>Public Improvements and Site Features</u> This subsection establishes the requirements for the installation of various site features and public improvements on and adjacent to the subject property in the CBD.
 - a. <u>Pedestrian-Oriented Elements Provisions Supersede</u> If the provisions of subsections 65.3.b. and 65.2 of this Chapter both apply to improvements within and/or adjacent to a street, the provisions of subsection 65.2, and not subsection 65.3.b., must be followed.
 - b. <u>Required Major Pedestrian Pathways</u> If the subject property abuts a street designated to contain a major pedestrian pathway on Figure 50.65.2.a, the applicant shall install that pathway on and/or adjacent to the subject property consistent with the following standards:
 - 1) The major pedestrian pathways must be installed in the approximate location shown on Figure 50.65.2.a and make the connections shown on that figure.
 - 2) The major pedestrian pathways must be paved with concrete or unit pavers and have a minimum width of at least 8', unless otherwise noted in Figure 50.65.2.a. If the existing sidewalk is less than 8', the difference may be made up with a public easement over private property.
 - 3) The major pedestrian pathways must have adequate lighting with increased illumination around building entrances and transit stops.
 - 4) If parcels are developed in aggregate, then alternative solutions may be proposed.
 - c. Public Improvement and Site Feature Standards and Masterplan for Public Property
 - 1) The City Manager shall administratively adopt and publish public improvement and site feature standards for the placement, installation, construction and maintenance of the following features to be constructed on and adjacent to major pedestrian pathways, streets, alleys and public parks:
 - a) Street trees and street tree grates.
 - b) Landscape plant materials.
 - c) Paving materials.
 - d) Lighting fixtures for streets, pedestrian areas and special areas.
 - e) Public signs.
 - f) Benches and seating areas.
 - g) Trash receptacles.
 - h) Drinking fountains.
 - i) Sidewalk Widths and Details

-) -if Bicycle racks.
- k. If Bollards.
- (At) Crosswalks.

Until the public improvement and site feature standards are adopted and published, the City shall, as part of the A.D.R. decision, specifically review and approve the placement, installation, construction and maintenance of these features.

- 2) The City shall adopt a masterplan for public spaces downtown. The masterplan shall discuss the placement of the features noted in Section 50.65.3.c.1), present a long range and coordinated plan for public property, and further implement the Downtown Plan Chapter of the Comprehensive Plan.
- Once adopted and published, the City may allow departure from the public improvement and site feature standards or the masterplan as part of the A.D.R. approval where compliance with those standards or masterplan is not feasible or where major development warrants special design emphasis.

d. On-site Improvements

- Mixed use centers, residential projects and office buildings shall provide bicycle racks which are conveniently located for bicyclist use and provide secure storage for bicycles.
- Water spigots shall be provided on all building facades along sidewalks for cleaning and plant watering.

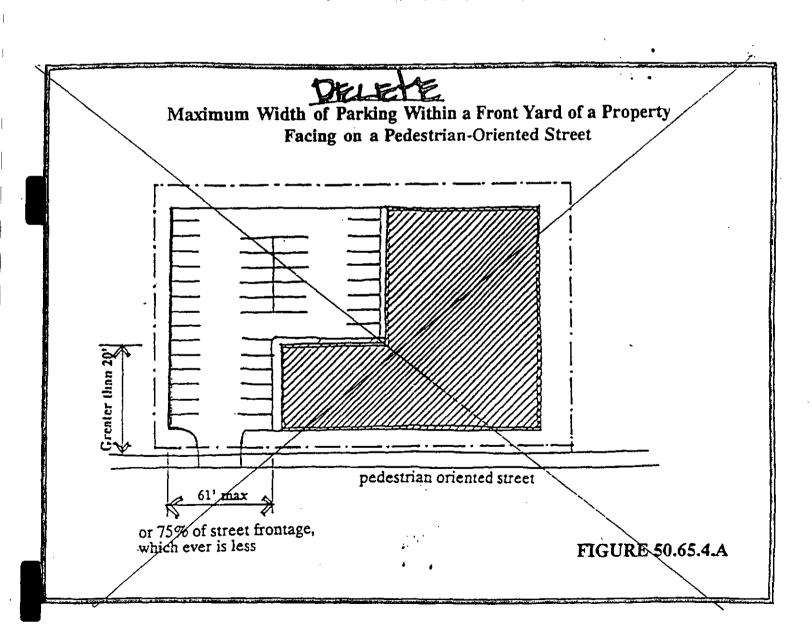
50.65.4. <u>Parking Area Location and Design</u> - This subsection regulates the location and design of, access for and other features of parking areas within the CBD.

ature Masterplan, parking lots shall not be located between a pedestrian-oriented street and

a building.

7.4) 2 Parking lots shall not be located between the street and the building on the subject property unless no other feasible alternative exists.

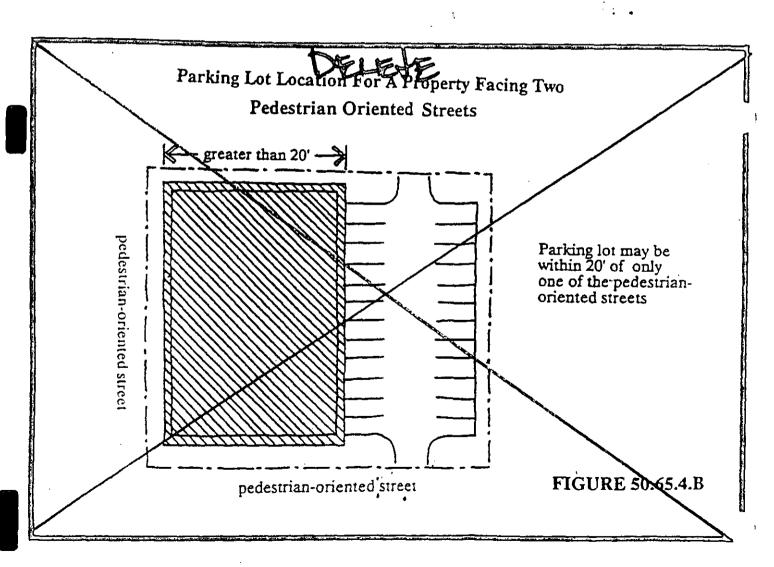
- 2) Parking lots within 20 of a pedestrian-oriented street or a public park must comply with the following standards:
 - a) If the subject property abuts one pedestrian-oriented street or public park,—the maximum width of the parking lot within 20' of the pedestrian oriented—street or public park may not exceed the lesser of 61' or 76% of the frontage of the subject property. See Figure 50.65.4.a.



- b) If the subject property abuts two or more pedestrian-oriented streets and/or public parks, the following regulations apply:
 - i: The parking lot may be within 20' of only one of the pedestrian—

 -criented streets or public parks as determined as part of the A.D.R.—

 -decision. See Figure 50.65.4.b.—
 - The maximum width of the parking lot within 20' of the pedestrian oriented street or public park may not exceed the lesser of 61.0' or 75% of the frontage of the subject property adjacent to the pedestrian oriented street or public park.
- b. <u>Parking Lot Entrances and Driveways</u> As part of A.D.R., the City may impose additional restrictions on the width, number and location of driveways to and from the subject property to improve vehicle circulation or public safety or to enhance pedestrian movement or desirable visual characteristics.

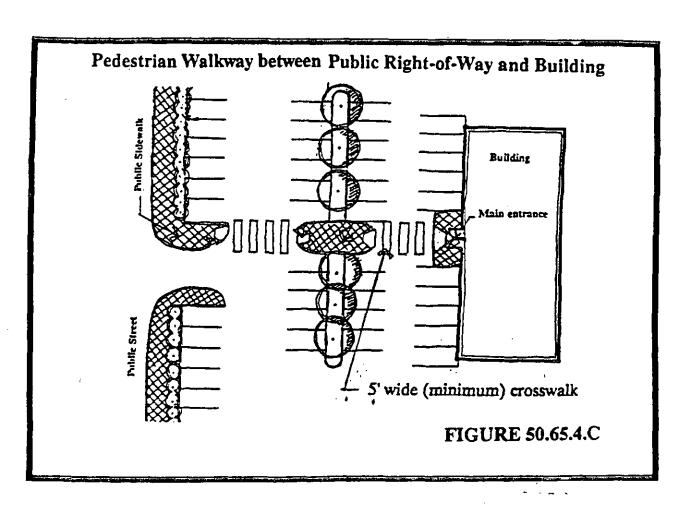


c. Pedestrian Access Within Parking Lots

- 1) Any property adjacent to a right-of-way or park must contain a pedestrian walkway from the right-of-way or park to the main entrance of the building, or to a central location if the building has multiple entrances, even if this pathway must cross a parking lot. The pathway should meet the following standards, as applicable, as determined through A.D.R.:
 - a) The walkway must be centrally located within the parking lot.
 - b) It must be defineated by painted markings, distinctive pavement, or by being raised 6" above the parking lot pavement.
 - c) It must be at least 5' wide.
 - d) The walkway must be handicapped accessible.

See Figure 50.65.4.c.

2) All parking lots which contain more than 25,000 square feet of paved area, including access lanes and driveways, must include clearly identified pedestrian routes from the parking stalls to the main building entrance or central location.

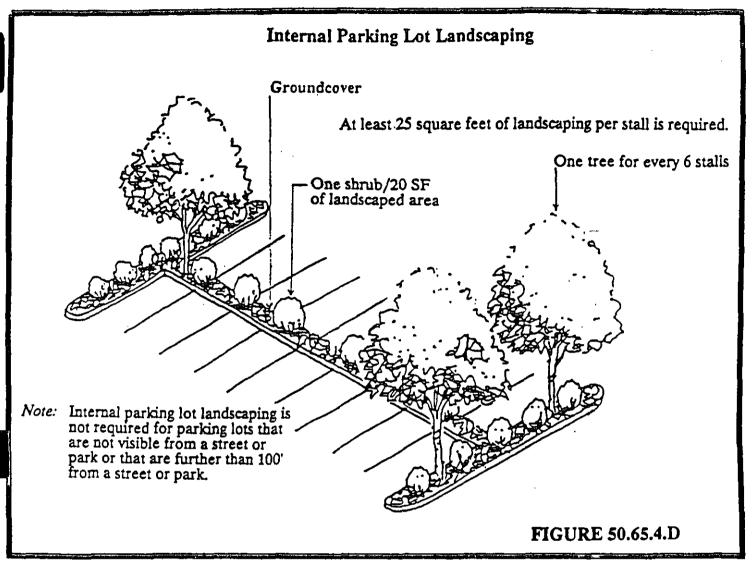


- 3) In addition to the walkways required under subsections 65.4.c.1) and 65.4.c.2), the applicant must provide a sidewalk, plaza or platform with an area of at least 175 square feet at the main building entrance or central location. This area must be raised at least 6" above the parking lot surface and must be paved with concrete or unit pavers.
- 4) Convenient pedestrian access must be provided on the subject property to adjacent properties. Impenetrable barriers which will limit future pedestrian access are not permitted.
- d. Internal Parking Lot Landscaping The following provisions apply to each parking lot or portion thereof containing more than 14 parking stalls within 100' of a street or public park. The provisions do not apply to parking lots that are not visible from a street or public park.
 - 1) The parking lot must contain 25 square feet of landscape area per parking stall planted as follows:
 - a) At least one tree for every 6 parking stalls.
 - At least 1 shrub for every 20 square feet of landscaped area. Up to 50% of the shrubs may be deciduous.
 - c) Ground cover shall be selected and planted to achieve 90% coverage within 2 years.
 - d) The location of the landscaping will be reviewed through A.D.R.
 - 2) As part of the A.D.R., the City may require or permit a modification to the provision of subsection 65.4.d.1) of this Chapter to use existing vegetation for internal parking lot landscaping.

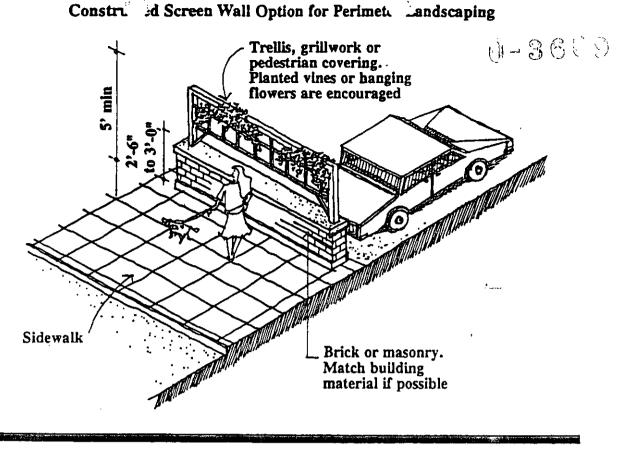
See Figure 50.65.4.d.

- e. <u>Perimeter Parking Lot Landscaping</u> Each side of a parking lot which abuts a street or public park must be screened from that street or public park using one or a combination of the following methods:
 - 1) By installation of a compact evergreen hedge or wall consistent with the following standards (as applicable):
 - a) The hedge or wall must extend at least 2'6" and not more than 3' above the ground directly below it.
 - b) The wall may be constructed of masonry or concrete, if consistent with the provisions of subsection 65.6.7)a) of this Chapter, or of wood if the design and materials match the building on the subject property.

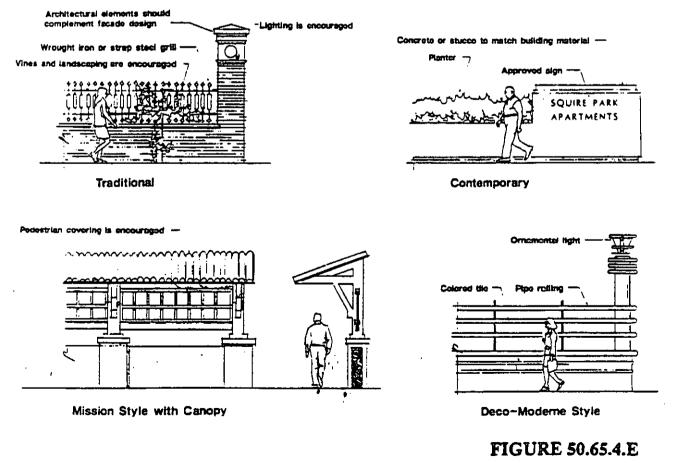
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- e) If the street is a pedestrian oriented street, the wall may also include a centinuous trellis or grillwork, at least 5' in height above the ground, placed on top of or in front of the wall and planted with climbing vines censistent with subsection 65.1,d, of this Chapter. The trellis or grillwork may be constructed of masonry, steel, cast iron and/or wood. See Figure -50.65.4.c.
- d) If the wall abuts a pedestrian-oriented street, the requirements of this paragraph may be fulfilled by providing pedestrian weather protection—consistent with subsection 65.2.b. of this Chapter.
- 2) By providing a landscaped strip, consistent with subsection 65.1.d. of this Chapter, at least 5' wide planted as follows:
 - a) Trees planted 30' or closer on center.
 - b) At least one shrub for every 20 square feet of landscaped strip.



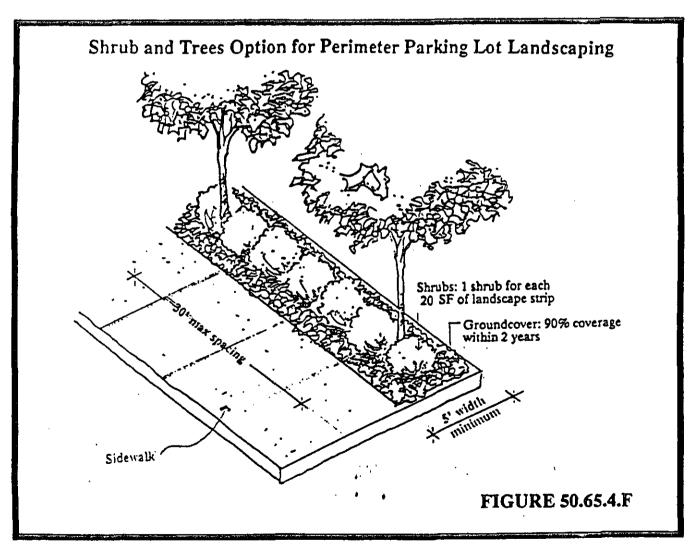




c) Ground cover selected and planted to achieve 90% coverage of the remaining landscaped strip within 2 years.

See Figure 50.65.4.f.

- 3) As part of A.D.R., the City may require or permit a modification to the provision of subsection 65.4.e)2) of this Chapter to use existing vegetation for perimeter parking lot landscaping.
- f. Perimeter Parking Lot Landscaping Adjacent Properties Each side of the perimeter of a parking lot which contains more than 14 parking stalls, which is within 10' of any adjacent property and which is not regulated under the provisions of subsection 65.4.e. of this Chapter, shall be screened using a combination of the following methods:
 - 1) By installing a solid, continuous fence or wall at least 5' in height constructed of wood and/or masonry.
 - 2) By installing a compact evergreen hedge designed to reach at least 5' in height.

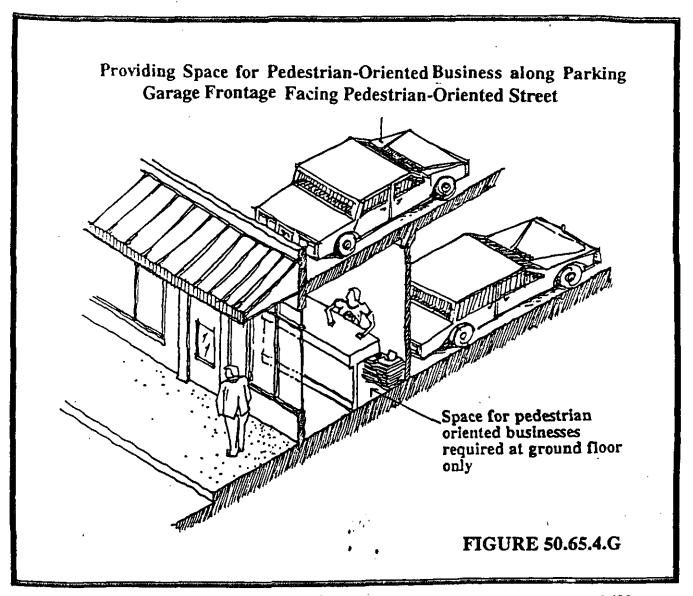


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As part of A.D.R., the City may require or permit a modification to the provision of this subsection 65.4.f. for any side of the parking lot which abuts or is connected to a parking lot on an adjacent property if the parking lots have internal vehicular connections.

g. Parking Garages

- 1) Each facade of a garage or a building containing ground floor parking that is within 10' of a *pedestrian-oriented street* or public park must be separated from the sidewalk or public park by one or a combination of the following methods:
 - a) By providing and maintaining a ground floor area of the garage or building extending along the entire facade of the garage or building (excluding vehicle access points) which is developed as and made available for pedestrian-oriented businesses. See Figure 50.65.4.g.



- b) By providing and maintaining a pedestrian-oriented space, consistent within the standards of subsection 65.2.d. of this Chapter, at least 10' in depth and extending along the entire facade of the garage or building (excluding vehicle access points).
- c) By treating the facade consistent with subsection 65.2.f.1), 2) or 3).
- 2) Each side of a garage or building containing ground-floor parking, other than as regulated in subsection 65.4.g.1) of this Chapter, must either:
 - a) Be screened with a landscaped strip 10' in depth along the entire facade of the garage or building (excluding vehicle access points), consistent with subsection 65.1.d of this Chapter, and planted as follows:
 - o Trees planted 15' on-center or closer.
 - o At least one shrub for each 20 square feet of landscaped strip.
 - Ground cover selected and planted to achieve 90% coverage within 2 years.

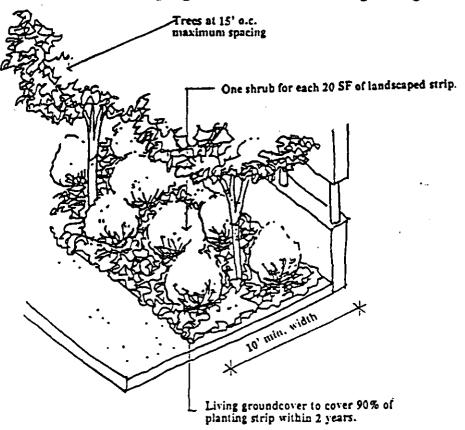
See Figure 50.65.4.h., or

- b) Be treated consistent with subsection 65.2.f.1), 2) or 3).
- 3) There must be architectural screening or other treatment of openings above the ground level for the facades of parking garages along pedestrian-oriented streets.
- 4) All parking garages and parking within a structure must contain
 - a) Designated pedestrian pathways, that do not use vehicle entrance or exit driveways, from the parking area to a public right-of-way; and
 - b) Designated pedestrian pathways from the parking spaces to the pedestrian entrance to the building served by the parking.

h. Miscellaneous Parking Area Design Details

- 1) All parking areas must have adequate lighting. Lights in parking lots must be non-glare and must be mounted no more than 20' above the ground.
- 2) All landscape and pedestrian areas shall be protected from encroachment by parked cars. At a minimum, the parking area must be designed and constructed so that car wheels are kept at least 2' from landscape and pedestrian areas.

Minimum Landscaping Standards for Parking Garages



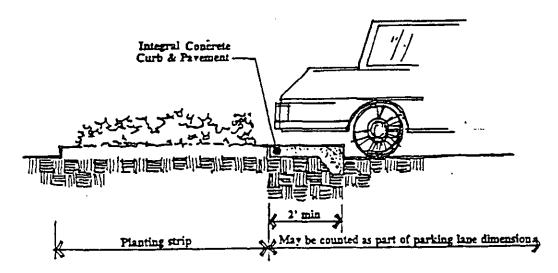
Note: Space for pedestrian-oriented business or open space, or facade treatment may be substituted for landscaping.

FIGURE 50.65.4.H

Freestanding wheel-stop bumpers must be replaced or repaired if cracked or broken. See Figure 50.65.4.i.

- 3) No freestanding or wall-mounted signs for individual parking spaces are permitted to extend more than 3 above the ground. Provisions in the UBC for handicapped stalls supersede this requirement.
- 4) Moveable parking area equipment, such as barrels and sawhorses, may not be visible from a street when not in use. Parking areas and accessory components, areas and facilities must be well maintained and kept in a clean, neat and litter-free manner at all times.

Extended Curb used to Protect Landscape Strip



Note: This method is preferable to freestanding wheel-stop bumpers because it will not catch debris and is more durable.

FIGURE 50.65.4.I

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50.65.5. Scale

a. Techniques to Moderate Bulk and Mass (SEE ATTACHED TEXT)

b.-a- Achieving Human Scale

1) General

- a) Except as provided in subsection 65.5.a.1)b) of this Chapter, the applicant shall use at least two of the elements or techniques listed in subsection 65.5.a.2) of this Chapter in the design and construction of each facade of a building facing a street or public park.
- b) The applicant shall use at least three of the elements or techniques listed in subsection 65.5.a.2) of this Chapter in the design and construction of any facade of a building facing a street or public park, if:
 - i. The facade has a height of 3 or more stories; or
 - ii. The facade is more than 100' long.
- 2) Techniques to Achieve Human Scale The techniques to be used in the design and construction of building facades under subsection 65.5.a.1) of this Chapter are listed below. As an alternative, the applicant may propose other techniques, elements or methods which provide human scale to the building and are consistent with the applicable design principles in the Downtown Plan Chapter of the Comprehensive Plan.
 - a) On each story above the ground floor, provide at least one balcony or deck, at least 6' wide and 6' deep.
 - b) On each story above the ground floor, provide at least one bay window that extends out at least 1', measured horizontally, from each facade of the building.
 - c) Provide at least 150 square feet of pedestrian-oriented space that meets the criteria of subsection 65.2.d. of this Chapter in front of each facade.
 - d) Provide at least 1/2 of the window area above the ground floor of each facade consistent with all of the following criteria:
 - The windows must have glazed areas with dimensions less than 5' by 7'. See Figure 50.65.5.a.
 - ii. The windows must be surrounded by trim, molding and/or sill at least 2" wide. See Figure 50.65.5.a.
 - iii. Individual window units must be separated from adjacent window units by at least 6" of siding or other exterior finish material of the building.
 - e) Provide at least 1/2 of the window area above the ground floor of each facade facing a street or public park in panes with dimensions less than 2'

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Dimensions For the Individual Windows Option to Meet the Human Scale Requirement

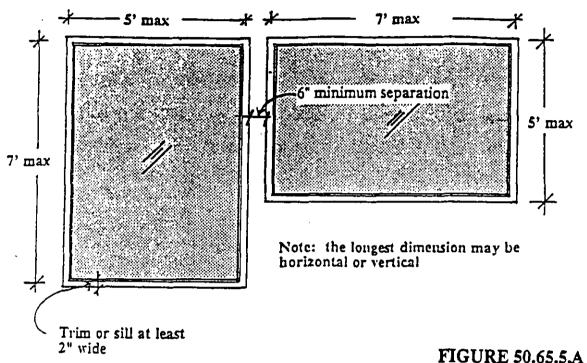
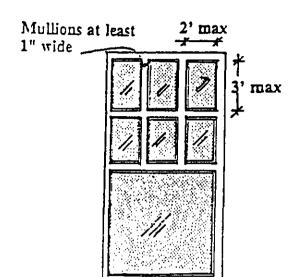


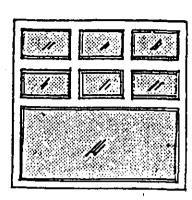
FIGURE 50.65.5.A

by 3' and with individual panes separated by window mullions. See Figure 50.65.5.b.

- Provide a hipped or gable roof which covers at least 1/2 of the building f) footprint and has a slope equal to or greater than 3' vertical to 12' horizontal.
- If the main entrance of the building is on the facade of the building facing g) a street or public park, provide a covered porch or entry on the subject property at the building's main entrance. Pedestrian weather protection required under subsection 65.2.b. of this Chapter may not be used to meet this requirement unless the required pedestrian weather protection covers an area at least 15' long by 15' wide and is available for outdoor display or outdoor vendors or contains pedestrian-oriented improvements or amenities beyond what is otherwise required.
- Provide one or more stories above the ground floor setback at least 6' h) from the ground floor facade facing the street or public park.

Multiple Paned Fenestration Option to Meet the Human Scale Requirement





Up to 50% of the glass area may be composed of larger panes

FIGURE 50.65.5.B

- Techniques to Achieve Architectural Scale The applicant shall use at least two of the following elements and features in the design and construction of all buildings in the CBD that are 3 or more stories or have a building footprint of more than 10,000 square feet. As an alternative, the applicant may propose slight variations from the required dimensions noted in the following techniques, or other methods to comply with the requirements of this subsection 5.b. The City may approve the proposal if it is consistent with the Downtown Plan Chapter of the Comprehensive Plan.
 - All stories above the second story must be set back at least 10' from the ground floor facade along at least 2 facades of the building.
 - 2) On all building facades, which are visible from a street or public park, provide horizontal modulation consistent with all of the following standards:

 of the exterior wall
 - a) The maximum allowable horizontal dimension of the facade between modulations is 100, 70.
 - b) The minimum depth of each modulation, except balconies, is 10'; and
 - c) The minimum width of each modulation, except balconies, is 15'.

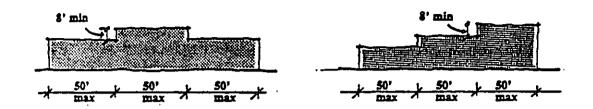
- 3) On all building facades which are visible from a street or public park, provide balconies which are consistent with the following standards:
 - Balconies must be placed on at least every other floor above the ground floor.
 - b) The maximum distance between balconies, measured horizontally, is 100':
 - The minimum amount of floor area for each balcony is 100 square feet;
 and
- 4) Provide vertical modulation of the roof line of all facades of the building adjoining a street or public park. For buildings with flat, gabled, hipped or similar roofs, the maximum length of any continuous roof line, with a slope of less than 3' vertical to 12' horizontal, is 50' without being modulated. If modulation is necessary, at least one of the following methods must be used:
 - a) The height of the visible roof line must change at least 8' if the adjacent roof segments are less than 50' in length.
 - b) The height of the visible roof line must change at least 12' if the adjacent roof segments are greater than 50' in length.
 - c) The length of a sloped or gabled roof line segment must be at least 20'. The minimum slope of the roof segment is 3' vertical to 12' horizontal.

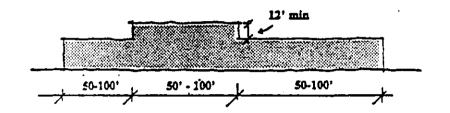
See Figure 50.65.5.d.

5) Buildings with other roof forms, such as arched, gabled, vaulted, dormered or sawtooth must have a significant change in slope or significant change in roof line at least every 100'.

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Flat Roof Modulation Options





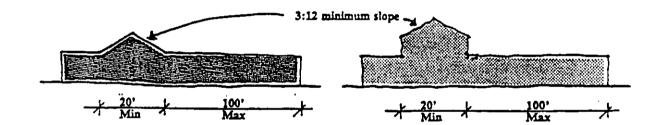


FIGURE 50.65.5.D

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50.65.6. Building Material. Color and Detail

- a. Required Elements The applicant shall incorporate at least three of the following elements on each facade of a building that faces a street or public park. As an alternative, the applicant may propose other mechanisms for providing interesting visual detail to buildings, consistent with the Building Detail Principles in the CBD portion of the Comprehensive Plan.
 - Decorative roof lines, including ornamental molding, frieze or other roof line devices visible from the ground. Linear features must be at least 8" wide, measured vertically.
 - 2) Decorative molding or framing details around all ground floor doors and windows. The molding or trim may have a traditional, contemporary, geometric or sculptural design.
 - 3) Decorative glazing on all ground floor doors and windows, including stained glass, crystal cut glass, etched glass or similar individualized and permanent treatment, but excluding single colored glass, opaque glass or plastic. On all ground floor windows, this decorative glazing must have a surface area of at least 30 square feet.
 - 4) Railings, grill work, landscape guards or other similar elements which include materials, design, configuration, embellishment or workmanship that exceeds the normal functional requirements for the element.
 - 5) Trellises or arbors having an area of at least 100 square feet and planted, consistent with the requirements of subsection 65.1.d. of this Chapter, to achieve at least 30% coverage of the trellis or arbor with plant material within three years.
 - 6) Decorative light fixture or fixtures, either one if one-of-a-kind or custom built or one every 30' along the facade of the building if not one-of-a-kind or custom built, that meet either of the following criteria:
 - a) Includes a diffuse, visible light source, such as a globe.
 - b) Contains a shade or mounting that includes some use of material, configuration, shape, embellishment or detail that exceeds the normal functional requirement for the shade or mounting.
 - 7) Use of any of the following decorative materials:
 - a) Any of the following decorative masonry elements:
 - Decorative masonry patterns, other than running bond pattern.
 - ii. Bricks, tile, stone, cast stone or other masonry units of at least two colors installed in layers or tiers to form a geometric pattern.
 - Decorative bands of masonry, such as a soldier course of brick or multi-colored ceramic tile band, in conjunction with another exterior surface material.

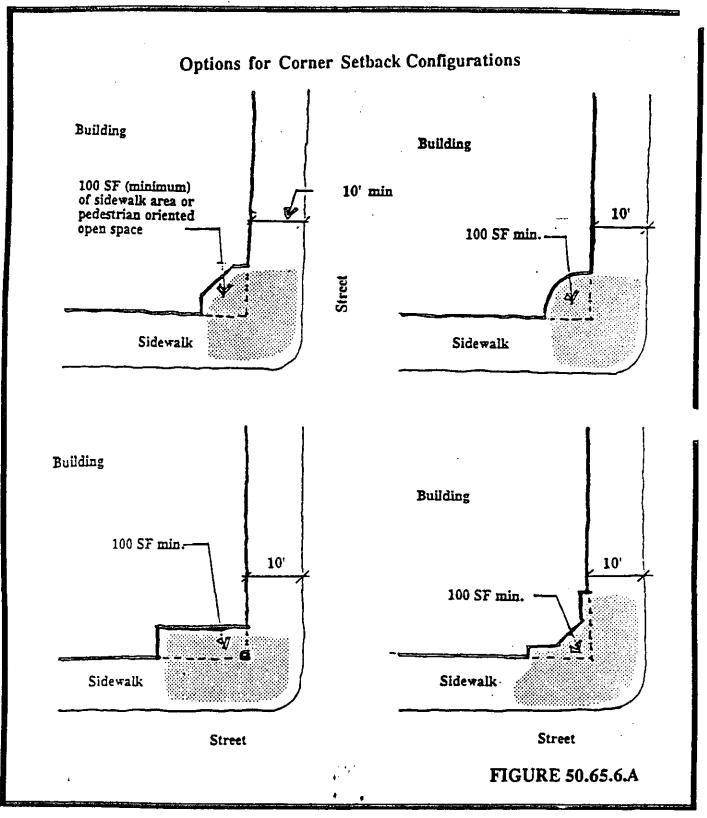
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- Individualized wood patterns or continuous wood details, such as fancy butt shingles in a geometric pattern, decorative moldings, brackets, eave trim or lattice work.
- c) Ceramic tile, stone, glass blocks, camera glass or other similar materials incorporated into other compatible surface materials and used to form or create, or in conjunction with, a geometric pattern, distinctive shape, unusual surface treatment, special lighting or other decorative or textural element.
- d) Other materials with decorative or textural qualities, as demonstrated by architectural drawings and material samples, approved by the City as part of A.D.R.
- 8) Decorative unit paving, including at least 50 square feet of multi-colored tile, paver blocks, brick or other paving material in a decorative pattern, installed in a pedestrian-circulation area adjacent to the facade.
- 9) Artwork in the form of a mosaic mural, bas-relief sculpture, light sculpture, water sculpture, fountain, free-standing sculpture, art in pavement, murals, graphics or other forms, either free standing in front of the facade or attached to the facade.
- b. <u>Prohibited Materials</u> The following materials may not be used on any exterior surface which is visible from any area beyond the subject property:
 - 1) Mirrored glass.
 - 2) Corrugated fiberglass.
 - 3) Chain link fencing, except for temporary purposes, such as during construction.
- c. <u>Metal Siding</u> Corner and edge trim must be used to cover exposed edges of metal siding. If metal siding covers more than 25% of a building's facade, the following regulations apply:
 - 1) The siding must have a matted finish.
 - 2) The siding must be in a neutral, earth tone or dulled color such as buff, grey, beige, tan, creme, white, barn-red, blue-grey, burgundy or other.
 - 3) The facade must have visible window and door trim painted or finished in a color which is complementary to the siding color.
- d. <u>Concrete Block</u> Any concrete block, masonry unit or cinder block wall which is visible from a street or public park must contain one or more of the following features or elements:

2) yl or plastic awnings and awnings used predo antly for advertising are discouraged
 3) Steel and glass, fabric, and other materials of a more permanent nature are encouraged.
 The design of awnings should complement the architecture of the building.

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- 1) Use of textured blocks with surfaces such as split faced or grooved.
- 2) Use of colored mortar complementary to the color of the blocks.
- 3) Use of other surface material such as bricks, glass blocks or tile as a significant feature of the wall.
- e. <u>Lighting of Awnings</u> Translucent awnings shall not be back-lit. Lights directed downward mounted from internal awning frames are permitted. Lights mounted above awnings and directed downward are permitted.
- f. <u>Certain Signs Prohibited</u> Signs with an internal light source and a sign face constructed of plastic or similar material are prohibited.
- g. <u>Covering of Existing Facades</u> Existing brick or cast stone masonry facades may not be covered with metal siding, metal screening, plastic siding, fiberglass siding, plywood siding, or wood siding materials. Other existing facades may be covered if consistent with the provisions of this Subsection 50.65.6. As part of A.D.R.-for remodels, the City may require the removal of coverings.
- h. <u>Building Cornerstone or Plaque</u> All commercial buildings designed for use by more than one tenant must have a building cornerstone or plaque, placed in a prominent location, consistent with the following standards:
 - 1) Building cornerstones must be constructed in carved stone, cast stone, carved masonry, terra cotta or other vandal-resistant material.
 - 2) Building plaques must be mounted no lower than 2' and no higher than 10' above ground and must be made of bronze, brass, anodized aluminum, porcelain enamel covered steel or aluminum or other corrosion resistant material.
 - 3) Building cornerstones and plaques must indicate the name of the building and, if known, the date of construction and architect.
 - 4) Building cornerstones and plaques may include the owner's name and other historical information.
- i. <u>Building Corners</u> If the subject property is adjacent to the intersection of two streets, at least one of which is a *pedestrian-oriented* street, the applicant shall use one or more of the following elements or treatments in the design and construction of the corner of the building facing the intersection of the streets which includes the *pedestrian-oriented* street. As an alternative, the applicant may propose other techniques, elements or treatments in the design of the corner which are consistent with the applicable design principles in the Downtown Plan chapter of the Comprehensive Plan.
 - 1) Provide at least 100 square feet of sidewalk area or pedestrian-oriented open space, in addition to the area required to produce a 10' wide sidewalk as required under subsection 65.2.a of this Chapter. See Figure 50.65.6.a.

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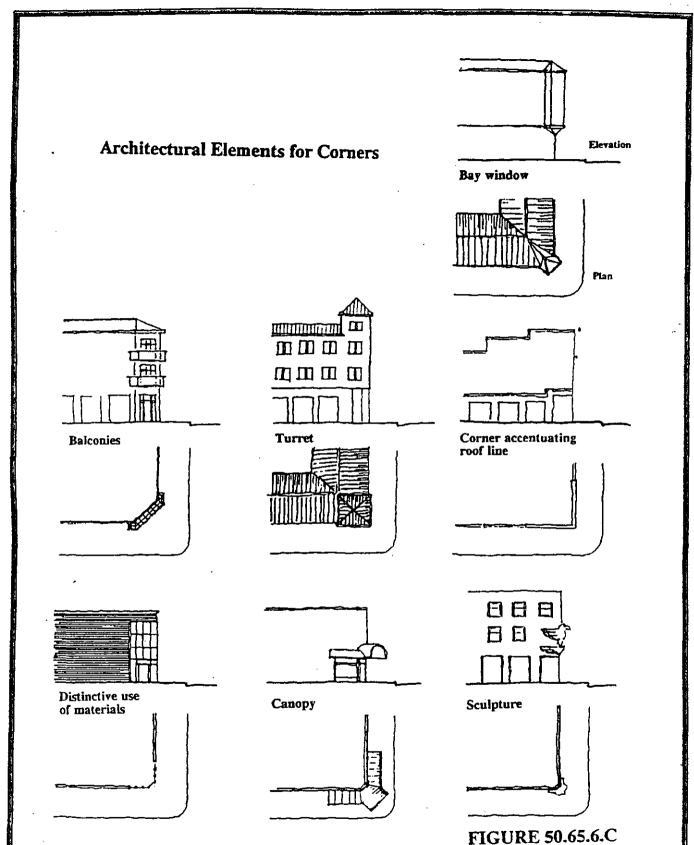
- 2) Provide an entrance way to a store, building atrium or lobby, exterior courtyard or pedestrian-oriented open space. See Figure 50.65.6.b.
- 3) Provide a pedestrian pathway, at least 8' in width, that connects to another street, public feature or building. See Figure 50.65.6.b.
- 4) Provide one or more of the elements listed below on both sides of an axis running diagonally through the corner of the building and bisecting the angle formed by the two building facades:
 - a) A bay window or turret.
 - b) A roof deck.
 - c) Balconies above the ground floor.
 - d) A building corner setback notch or curved facade surface.
 - e) Sculpture or artwork, either bas-relief or figurative.
 - f) Distinctive use of facade materials.

See Figure 50.65.6.c.

5) Provide special or unique treatment, other than the use of fabric or vinyl awnings, for pedestrian weather protection at the corner of the building.

Options for Corner Entry Elements Building Covered atrium or interior court exterior court Sklevalk Sidewnlk Building Street Street Building Building Sidewalk Pallyan at least 8, wide Sidewalk Lobby Street Street FIGURE 50.65.6.B

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50.65.5. Scale (AMENDED)

a. Techniques to Moderate Bulk and Mass

- 1) General This Section establishes required techniques to be used in the design and construction of building facades in specific areas of the CBD. The applicant shall comply with the techniques listed below in order to reduce the perceived bulk and mass of large structures by dividing the building mass into smaller-scale components. As an alternative, the applicant may propose and the City may approve other techniques, elements, or methods if consistent with the following criteria:
 - a. The alternative is generally consistent with the Downtown Plan and design principles in Appendix G of the Comprehensive Plan; and
 - b. The alternative clearly provides superior moderation of the architectural bulk and mass than would result from strict application of the required techniques.
- 2) Vertical Definition The applicant shall comply with the following requirements to moderate the horizontal scale of buildings:
 - a) All Zones: The maximum length of any facade facing a street is 70' vertical definition. Vertical definition may be in the form of changes in color and materials, modulations of sufficient width and depth to define the vertical element, or some combination of these techniques. This vertical definition should carry through all floors of the building.
 - b) CBD 4. CBD 6. CBD 8: Along First Street. Second Street South. First Avenue South, and Fifth Street, the maximum length of a facade is 120 feet. Any facade that exceeds 120 feet along the right-of-way shall comply with the following requirements:
 - i. Shall be divided by a 30 foot wide modulation of the exterior wall so the maximum length the facade is 120 feet without this modulation.
 - ii. The modulation shall be 20 feet in depth and shall start at finished grade and extend through all floors.

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Decks and roof overhangs may encroach up to three iii. feet (per side) into the modulation.

See Figure 50.65.5.B

Horizontal Articulation: Large Modulation Options

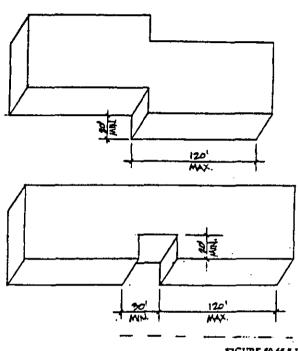
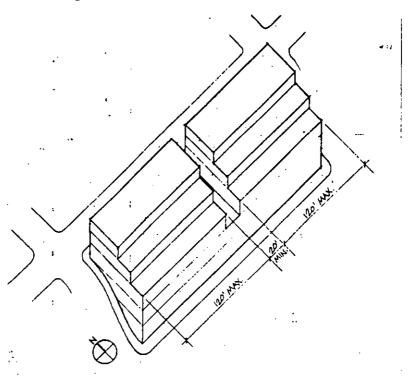


FIGURE 50.65.5.B

- CBD 6, CBD 8: Along the axis of all buildings which is <u>c)</u> predominantly east-west and/or most closely parallel to Central Way, Third Avenue, Fourth Avenue, or Sixth Avenue, the maximum length of a building is 120 feet. The following exceptions apply:
 - Portions of buildings which are below the elevation i. of Third Avenue. Fourth Avenue. or Sixth Avenue. as measured at the midpoint of the frontage of the subject property on the applicable right-of-way. may exceed the 120 feet limitation.
 - Portions of the building above Third Avenue. ii. Fourth Avenue, of Sixth Avenue shall be divided into two or more distinct building masses with a maximum length of 120 feet separated by at least 20 feet in width.

iii. Decks, bay windows, roof overhangs, and chimneys may encroach up to three feet (per side) into the separation.

See Figure 50.65.5.C



Vertical Definition: Upper level separation

- 3) Horizontal Definition The applicant shall comply with the following requirements to moderate the vertical scale of buildings. All buildings in the CBD shall include design techniques which clearly define the building's top. middle, and bottom (see Figure

 ______). The following techniques are suggested methods of achieving vertical articulation:
 - a) Top: Sloped roofs, strong eave lines, cornice treatments, horizontal trellises or sunshades, etc.
 - b) Middle: Windows, balconies, material changes, railings, and similar treatments that unify the building design.
 - building details, awnings... arcades, "earth" materials such as concrete, stone, stucco, etc.

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Where appropriate, the applicant should coordinate the horizontal elements (i.e. - cornices, window lines, arcades, etc.) in a pattern and height to reflect similar elements on neighboring buildings.

See Figure 50.65.5.D

Vertical Articulation of Buildings' Top, Middle and Bottom



TOP: Sloped roofs, strong eave lines, cornice and/or parapet treatments, horizontal trellises or sunshades, material changes on "penthouse" level, etc.

MIDDLE: Window details, balconies, railings, material changes and similar treatments that help unify the building and define its use and character.

BOTTOM: Pedestrian scale detnils and/or pedestrian-oriented storefronts, awnings, areades, "earth" materials such as concrete stone, masonry, stucco, etc.

FIGURE 50.65.5.D

The term "CBD Continued Use" means an existing structure in a CBD zone which became nonconforming solely as a result of the adoption of Ordinance 3609.

A CBD Continued Use shall be permitted to exist as a lawful use subject only to the following conditions:

- 1. Ordinary repairs and maintenance may be carried out consistent with the provisions of this Chapter, provided that there shall be no limitation on the amount or cost of such repairs and maintenance.
- 2. In the event a CBD Continued Use is destroyed to any extent by fire or other casualty, the structure may be rebuilt provided, however, that the gross floor area of the structure and major exterior dimensions of the structure shall not exceed the same gross floor area or major exterior dimensions of the previous structure. This provision shall not reduce any requirements of the building or fire codes in effect when such structure may be rebuilt.

The provisions of this section shall only be available if any application for a building permit is filed within twelve (12) months of such fire or other casualty and construction is commenced and completed in conformance with the provisions of the building code then in effect.

- 3. Except as would be in conflict with this Section, rebuilding shall conform to then current codes or regulations.
- The owner of a CBD Continued Use may request the issuance of a "Certificate of CBD Continued Use" which shall identify the property, existing use, building dimensions, and site characteristics for which the certificate is issued and which shall include the provisions of this Section.

PUBLICATION SUMMARY OF ORDINANCE NO. 3609

AN ORDINANCE OF THE CITY OF KIRKLAND RELATING TO ZONING, PLANNING, AND LAND USE AND AMENDING ORDINANCE 2740 AS AMENDED, THE KIRKLAND ZONING ORDINANCE (FILE NO. IV-96-70.)

SECTION 1 Amends Section 50 of the Kirkland Zoning Code (CBD Zones 1-8 and Design Regulations for the Central Business District) including provisions related to building mass and height and Section 162 related to nonconformances.

<u>SECTION 2</u> Establishes continuation of Ordinance 3595 and 3596 until they expire or are repealed and the effect of this ordinance while Ordinances 3595 and 3596 are in force or effect.

<u>SECTION 3</u> Provides a severability clause for the ordinance.

SECTION 4 Authorizes publication of the ordinance by summary, which summary is approved by the City Council pursuant to Section 1.08.017 Kirkland Municipal Code and establishes the effective date as January 23, 1998

<u>SECTION 5</u> Establishes certification by City Clerk and notification of King County Department of Assessments.

The full text of this Ordinance will be mailed without charge to any person upon request made to the City Clerk for the City of Kirkland. The Ordinance was passed by the Kirkland City Council at its regular meeting on the 18th day of December, 1997.

I certify that the foregoing is a summary of Ordinance 3609 approved by the Kirkland City Council for summary publication.

Deputy City Clerk